

Ron DeSantis  
GOVERNOR



Dane Eagle  
EXECUTIVE DIRECTOR

April 2, 2021

Christopher Sands  
Forest Green Homeowners Association, Inc.  
2023 Gray Birch Way  
Tallahassee, Florida 32308

**Re: Forest Green Homeowners Association, Inc.; Approval;  
Determination Number: 21049**

Dear Mr. Sands:

The Department of Economic Opportunity (Department) has completed its review of the Proposed Revived Declaration of Covenants and Restrictions (Declaration of Covenants) and other governing documents for the Forest Green Homeowners Association, Inc. (Association), and has determined that the documents comply with the requirements of Chapter 720, Part III, Florida Statutes. Therefore, the proposed revitalization of the Association's Declaration of Covenants is approved.

The Association is required to comply with the requirements in sections 720.407(1) - (3), Florida Statutes, including recording the documents identified in section 720.407(3), Florida Statutes, in the county's public records. The revitalized declaration and other governing documents will be effective upon recording. Immediately upon recording the documents in the public records, the Association is required to mail or hand deliver a complete copy of all approved recorded documents to the owner of each affected parcel as provided in section 720.407(4), Florida Statutes.

If you have any questions concerning this matter, please contact the Department of Economic Opportunity, Office of the General Counsel, at (850) 245-7150.

Sincerely,

A handwritten signature in black ink, appearing to read 'James D. Stansbury'. The signature is fluid and cursive.

James D. Stansbury, Chief  
Bureau of Community Planning and Growth

JDS/bp/rm

Florida Department of Economic Opportunity | Caldwell Building | 107 E. Madison Street | Tallahassee, FL 32399  
850.245.7105 | [www.FloridaJobs.org](http://www.FloridaJobs.org)  
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DECLARATION  
OF COVENANTS, CONDITIONS AND RESTRICTIONS  
OF FOREST GREEN

THIS DECLARATION, made and executed this 14 day of April, 2021, by Forest Green Homeowners Association, Inc., a Florida corporation not for profit, having its principal place of business in Leon County, Florida, hereinafter referred to as "Declarant".

W I T N E S S E T H:

WHEREAS, Declarant wishes to reinstate the expired Declaration of Covenants, Conditions and Restrictions of Forest Green, the same being recorded in Official Record Book 1083, Pages 311 through 403, Public Records of Leon County, Florida.

NOW THEREFORE, Declarant hereby declares that all of the properties described in the attached Exhibit "A" shall be held, sold and conveyed subject to the following easements, restrictions, covenants, and conditions, which are for the purpose of protecting the value and desirability of, and which shall run with, the real property and be binding on all parties having any right, title or interest in the described properties or any part thereof, their heirs, successors and assigns, and shall inure to the benefit of each owner thereof.

ARTICLE I  
DEFINITIONS

Section 1. "Association" shall mean and refer to Forest Green Homeowners Association, Inc., its successors and assigns.

Section 2. "Owner" shall mean and refer to the record owner, whether one or more persons or entities, of a fee simple title to any Lot which is a part of the Properties, including contract sellers, but excluding those having such interest merely as security for the performance of an obligation.

Section 3. "Properties" shall mean and refer to that certain real property hereinbefore described, and such additions thereto as may hereafter be brought within the jurisdiction of the Association.

Section 4. "Common Area" shall mean all real property (including the improvements thereto) owned by the Association for the common use and enjoyment of the owners.

Section 5. Real property may be conveyed to the Association for the common use and enjoyment of the owners.

Section 6. "Lot" shall mean and refer to each of the sixty-nine (69) plots of land described in Exhibit "B" attached hereto and by reference made a part hereof.

Section 7. "Declarant" shall mean and refer to the Forest Green Homeowners Association, Inc.

## ARTICLE II PROPERTY RIGHTS

Section 1. Owners' Easements of Enjoyment. Every Owner shall have a right and easement of enjoyment in and to the Common Area which shall be appurtenant to and shall pass with the title to every Lot, subject to the following provisions:

- (a) the right of the Association to charge reasonable admission and other fees for the use of any recreational facility situated upon the Common Area;
- (b) the right of the Association to suspend the voting rights and right to use of the recreational facilities by an Owner for any period during which any assessment against his Lot remains unpaid and for a period not to exceed 60 days for any infraction of its published rules and regulations;

(c) the right of the Association to dedicate or transfer all or any part of the Common Area to any public agency, authority, or utility for such purposes and subject to such conditions as may be agreed to by the members (no such dedication or transfer shall be effective unless an instrument agreeing to such dedication or transfer signed by 2/3rds of all members has been recorded); and

Section 2. Delegation of Use. Any Owner may delegate, in accordance with the By-Laws, his right of enjoyment to the Common Area and facilities to the members of his family, his tenants, or contract purchasers who reside on the property.

## ARTICLE III MEMBERSHIP AND VOTING RIGHTS

Section 1. Every Owner of a Lot which is subject to assessment shall be a member of the Association. Membership shall be appurtenant to and may not be separated from ownership of any Lot which is subject to assessment.

Section 2. Members shall be all Owners, and shall be entitled to one vote for each Lot owned. When more than one person holds an interest in any Lot, all such persons shall be members. The vote for such Lot shall be exercised as they determine, but in no event shall more than one vote be cast with respect to any Lot.

## ARTICLE IV COVENANT FOR MAINTENANCE ASSESSMENTS

Section 1. Creation of the Lien and Personal Obligation of Assessments. Each Owner of any Lot by acceptance of a deed therefor, whether or not it shall be so expressed in such deed, is deemed to covenant and agree to pay to the Association: (1) annual assessments or charges, and (2) special assessments for capital

improvements, such assessments to be established and collected as hereinafter provided. The annual and special assessments, together with interest, costs, and reasonable attorney's fees, shall be a charge on the land and shall be a continuing lien upon the property against which each such assessment is made. Each such assessment, together with interest, costs, and reasonable attorney's fees, shall also be the personal obligation of the person who was the Owner of such property at the time when the assessment fell due. The personal obligation for delinquent assessments shall not pass to his successors in title unless expressly assumed by them.

Section 2. Purpose of Assessments. The assessments levied by the Association shall be used exclusively to promote the recreation, health, safety, and welfare of the residents in the Properties and for the improvement and maintenance of the Common Area and of the homes situated upon the properties.

Section 3. Maximum Annual Assessment. Until January 1 of the year immediately following the recording of this revived Declaration of Covenants, Conditions and Restrictions of Forest Green, the maximum annual assessment shall be Sixty and no/100 Dollars (\$60.00) per Lot.

(a) From and after January 1 of the year immediately following the recording of this revived Declaration of Covenants, Conditions and Restrictions of Forest Green, the maximum annual assessment may be increased each year not more than 5% above the assessment for the previous year without a vote of the membership.

(b) From and after January 1 of the year immediately following the recording of this revived Declaration of Covenants, Conditions and Restrictions of Forest Green, the maximum annual assessment may be increased above 5% by a vote of two-thirds (2/3) of the members who are voting in person or by proxy, at a meeting duly called for this purpose.

(c) The Board of Directors may increase the annual assessment at any time to an amount not in excess of the maximum.

Section 4. Special Assessments for Capital Improvements. In addition to the annual assessments authorized above, the Association may levy, in any assessment year, a special assessment applicable to that year only for the purpose of defraying, in whole or in part, the cost of any construction, reconstruction, repair or replacement of a capital improvement upon the Common Area, including fixtures and personal property related thereto, provided that any such assessment shall have the assent of two-thirds (2/3) of the votes of members who are voting in person or by proxy at a meeting duly called for this purpose.

Section 5. Notice and Quorum for Any Action Authorized Under Sections 3 and 4. Written notice of any meeting called for the purpose of taking any action authorized under Section 3 or 4 shall be sent to all members not less than 30 days nor more than 60 days in advance of the meeting. At such meeting, the presence of members or of proxies entitled to cast 30% of all the votes of the membership shall constitute a quorum.

Section 6. Uniform Rate of Assessment. Both annual and special assessments shall be fixed at a uniform rate for all Lots and may be collected on a monthly basis.

Section 7. Date of Commencement of Annual Assessments. Due Dates. The annual assessments provided for herein shall commence as to all Lots on the first day of the month following the recording of this revived Declaration of Covenants, Conditions and Restrictions of Forest Green. The first annual assessment shall be adjusted according to the number of months remaining in the calendar year. The Board of Directors shall fix the amount of the annual assessment against each Lot at least thirty (30) days in advance of each annual assessment period. Written notice of the annual assessment shall be sent to every Owner subject thereto. The due dates shall be established by the Board of Directors. The Association shall, upon demand, and for a reasonable charge, furnish a certificate signed by an officer of the association setting forth whether the assessments on a specified Lot have been paid. A properly executed certificate of the Association as to the status of assessments on a lot is binding upon the Association as of the date of its issuance.

Section 8. Effect of Nonpayment of Assessments: Remedies of the Association. Any assessment not paid within thirty (30) days after the due date shall bear interest from the due date at the rate of fifteen percent (15%) per annum or at such other legal rate as may be established by the Board of Directors. The Association may bring an action at law against the Owner personally obligated to pay the same, or foreclose the lien against the property. No Owner may waive or otherwise escape liability for the assessments provided for herein by non-use of the Common Area or abandonment of his Lot.

Section 9. Subordination of the Lien to Mortgages. The lien of the assessments provided for herein shall be subordinate to the lien of any first mortgage. Sale or transfer of any Lot shall not affect the assessment lien. However, the sale or transfer of any Lot pursuant to mortgage foreclosure or any proceeding in lieu thereof or the bona fide conveyance to a mortgagee in satisfaction of a first mortgage shall extinguish the lien of such assessments as to payments which became due prior to such sale or transfer. No sale or transfer shall relieve such Lot from liability for any assessments thereafter becoming due or from the lien thereof.

Section 10. Exempt Property. All properties dedicated to, and accepted by, a local public authority and all properties owned by a charitable or nonprofit organization exempt from taxation by the laws of the State of Florida shall be exempt from the assessments created herein, except no land or improvements devoted to dwelling use shall be exempt from said assessments.

ARTICLE V  
EASEMENTS

Section 1. Easement for Utilities, Ingress and Egress. The Declarant hereby reserves, excepts, imposes and creates a non-exclusive, perpetual easement to and on behalf of the Declarant, the Association, the Owners,

their grantees, heirs and successors in interest for utilities, ingress and egress over, under and across the property described in Exhibit "C" attached hereto and by reference made a part hereof. This easement shall be maintained by the Association. Within this easement, no structure, planting or other material which may interfere with the use and purpose of the easement shall be placed or permitted to remain. The City of Tallahassee shall not be responsible for utility trench lines or trench line failures.

**Section 2. Easement for Drainage and Utilities.** The Declarant hereby reserves, excepts, imposes and creates a non-exclusive, perpetual easement to and on behalf of the Declarant, the Association, the Owners, their grantees, heirs and successors in interest for drainage and utility purposes over, under and across the property described in Exhibit "D" attached hereto and by reference made a part hereof. The easement created hereby shall include, but not be limited to, the right of all Owners to cause or allow surface and storm water to be discharged onto and be held in the easement area. This easement shall be maintained by the Association. Within this easement, no structure, planting or other material which may interfere with the use and purpose of the easement shall be permitted to remain. The City of Tallahassee shall not be responsible for utility trench lines or trench line failures.

## ARTICLE VI ARCHITECTURAL CONTROL

No building, fence, wall or other structure shall be commenced, erected or maintained upon the Properties, nor shall any exterior addition to or change or alteration therein be made until the plans and specifications showing the nature, kind, shape, height, materials, and location of the same shall have been submitted to and approved in writing as to harmony of external design and location in relation to surrounding structures and topography by the Board of Directors of the Association, or by an architectural committee composed of three (3) or more representatives appointed by the Board. In the event said Board, or its designated committee, fails to approve or disapprove such design and location within thirty (30) days after said plans and specifications have been submitted to it, approval will not be required and this Article will be deemed to have been fully complied with.

## ARTICLE VII LAND USE AND BUILDING TYPE

No Lot shall be used except for residential purposes and such other purposes set forth in this Declaration. No building of any type shall be erected, altered, placed or permitted to remain on any Lot other than one (1) detached single family dwelling not to exceed two and one-half stories in height. No Lot shall be re-subdivided.

## ARTICLE VIII

### DWELLING SIZE

No dwelling shall be permitted on any Lot unless the ground floor area of the main structure, exclusive of open porches, carports and garages, contains at least 1,000 square feet for a one-story dwelling and at least 500 square feet for a dwelling of more than one story, exclusive of open porches, carports and garages.

## ARTICLE IX

### BUILDING LOCATION

No building shall be located on any Lot: nearer than 25 feet to the front line; nearer than 25 feet to the rear Lot line; nearer than 7.5 feet to an interior Lot line; or nearer than 15 feet to any side street line. For the purposes of this Article IX, eaves and steps shall not be considered as a part of a building, provided, however, that this shall not be construed to permit any portion of a building to encroach upon another site. No driveway shall be located nearer than 5 feet to an interior Lot line except a back-up turn-around pad may be located as near as one foot to a Lot line. The Board of Directors of the Association or an Architectural Control Committee appointed by the Board may, in its sole discretion, grant variances to the restrictions provided for in this Article.

## ARTICLE X

### GARAGES AND CARPORTS

Each building shall have a functional carport or garage attached thereto.

## ARTICLE XI

### NUISANCES

No noxious or offensive activity shall be carried on upon any Lot, nor shall anything be done thereon which may be or may become an annoyance or nuisance to the neighborhood.

## ARTICLE XII

### TEMPORARY STRUCTURES

No structure of a temporary character, trailer, basement, tent, shack, garage, barn, storage building, or other outbuilding shall be used on any Lot at any time as a residence either temporarily or permanently.

## ARTICLE XIII

### SIGNS

No sign of any kind shall be displayed to the public view on any Lot, except: one sign of not more than five square feet to advertise the property for sale or lease; and, within 10 feet of any entrance to the home, a sign of reasonable size provided by a contractor for security services.

## ARTICLE XIV

### LIVESTOCK AND POULTRY

No animals, livestock or poultry of any kind shall be raised, bred or kept on any Lot, except that dogs, cats or other household pets may be kept, provided they are not kept, bred or maintained for any commercial purpose.

## ARTICLE XV

### RADIO AND TELEVISION ANTENNA

No exterior radio and television antenna may be installed on any portion of the Properties unless such installation and the size and design of the antenna have been approved by the Board of Directors of the Association or an architectural control committee appointed by the Board.

## ARTICLE XVI

### MAIL BOXES

No mail box or paper box or other receptacle of any kind for use in the delivery of mail, newspapers, magazines or similar materials shall be erected or located on the Properties unless and until the size, location and type of material for said boxes or receptacles shall have been approved by the Board of Directors of the Association or an architectural control committee appointed by the Board.

## ARTICLE XVII

### GARBAGE AND REFUSE DISPOSAL

No Lot shall be used, maintained, or allowed to become a dumping ground for scraps, litter, leaves, limbs or rubbish. Trash, garbage or other waste shall not be allowed to accumulate on the property and shall not be kept except in sanitary containers installed in such a manner to be acceptable to the Board of Directors of the Association or an architectural control committee appointed by the Board. All equipment for the storage or disposal of such material shall be kept in a clean and sanitary condition and shall not be visible from the street.

## ARTICLE XVIII

### SIGHT DISTANCE AT INTERSECTIONS

No fence, wall, hedge, or shrub planting which obstructs sight lines at elevations between two (2) and six (6) feet above the roadways shall be placed or permitted to remain on any corner Lot within the triangular area formed by the street property lines and line connecting them at points twenty-five (25) feet from the intersection of the street lines, or in the case of a rounded property corner from the intersection of the street property lines extended. The same sight-line limitations shall apply on any lot within ten (10) feet from the intersection of a street property line with the edge of a driveway or alley pavement. No tree shall be permitted to remain within such distances of such intersections unless the foliage line is maintained at sufficient height to prevent obstruction of such sight lines. The Board of Directors of the Association or an Architectural Control Committee appointed by the Board may, in its sole discretion, grant variances to the restrictions provided for in this Article.

## ARTICLE XIX

### GENERAL PROVISIONS

Section 1. Enforcement. The Association, or any Owner, shall have the right to enforce, by any proceeding at law or in equity, all restrictions, conditions, covenants, reservations, liens and charges now or hereafter imposed by the provisions of this Declaration. Failure by the Association or by any Owner to enforce any covenant or restriction herein contained shall in no event be deemed a waiver of the right to do so thereafter.

Section 2. Severability. Invalidation of any one of these covenants or restrictions by judgment or court order shall in no wise affect any other provisions which shall remain in full force and effect.

Section 3. Amendment. The covenants and restrictions of this Declaration shall run with and bind the land, for a term of twenty (20) years from the date this Declaration is recorded, after which time they shall be automatically extended for successive periods of ten (10) years. This Declaration may be amended by an instrument signed by not less than seventy-five percent (75%) of the Lot Owners. Any amendment must be recorded.

IN WITNESS WHEREOF, Declarant has caused this Declaration to be executed as of the day and year first above written.

Signed, sealed and delivered  
in the presence of:

FOREST GREEN HOMEOWNERS  
ASSOCIATION, INC., a Florida  
corporation not for profit

CHRIS SANDS  
Print Name: \_\_\_\_\_

By: Chris Sands  
Christopher Sands  
As its President

Beth Schwartz  
Print Name: \_\_\_\_\_

Attest: Beth Schwartz  
Beth Schwartz  
As its Secretary

STATE OF FLORIDA  
COUNTY OF LEON

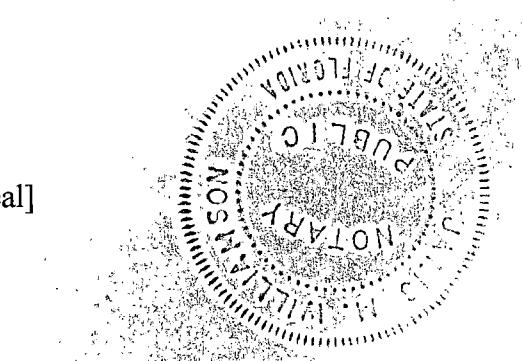
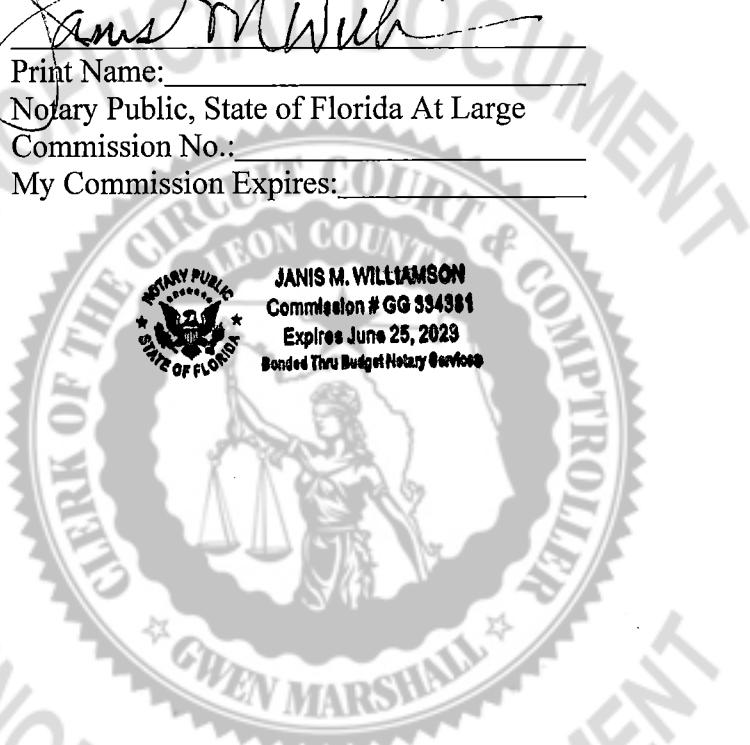
The foregoing instrument was acknowledged before me by means of  physical presence or  online notarization on APRIL 14, 2021, by Christopher Sands, President of FOREST GREEN HOMEOWNERS ASSOCIATION, INC., a Florida corporation not for profit, on behalf of the corporation.

He is  personally known to me or  produced \_\_\_\_\_ as identification.

Janis M. Williamson  
Print Name: \_\_\_\_\_  
Notary Public, State of Florida At Large  
Commission No.: \_\_\_\_\_  
My Commission Expires: \_\_\_\_\_

[Affix Seal]

NOTARY PUBLIC  
STATE OF FLORIDA  
JANIS M. WILLIAMSON  
Commission # GG 334381  
Expires June 25, 2029  
Bonded Thru Budget Notary Services



utility easement as described in Official Records Book 911, Page 754 of the Public Records of Leon County, Florida, thence from a tangent bearing of North 26 degrees 26 minutes 46 seconds West run Northwesterly along said boundary curve with a radius of 75.91 feet, through a central angle of 44 degrees 36 minutes 28 seconds, for an arc distance of 59.10 feet to a concrete monument, thence North 71 degrees 03 minutes 15 seconds West along said boundary 67.64 feet to a concrete monument marking a point of curve to the right, thence along said boundary curve with a radius of 89.81 feet, through a central angle of 41 degrees 45 minutes 35 seconds, for an arc distance of 65.46 feet to a concrete monument, thence North 29 degrees 17 minutes 40 seconds West along said boundary 220.31 feet to a concrete monument on the West boundary of said Section 33, thence North 00 degrees 31 minutes 06 seconds East along said West boundary 119.02 feet to the POINT OF BEGINNING; containing 5.99 acres, more or less.

and also:

Commence at a concrete monument marking the Northwest corner of Section 33, Township 1 North, Range 1 East, Leon County, Florida (said concrete monument being located 21.26 feet South and 61.76 feet East of the Southeast corner of Lot 7, Block "B" of Glenwood Estates as recorded in Plat Book 2, Page 11 of the Public Records of Leon County, Florida) and run South 00 degrees 31 minutes 06 seconds West (bearing base) along the West boundary of said Section 33 a distance of 159.25 feet to the centerline of a 40 foot access easement, thence South 29 degrees 17 minutes 40 seconds East along said centerline 26.34 feet to the POINT OF BEGINNING. From said POINT OF BEGINNING continue South 29 degrees 17 minutes 40 seconds East along said centerline 121.42 feet, thence South 60 degrees 42 minutes 20 seconds West 84.67 feet to a concrete monument, thence South 89 degrees 59 minutes 37 seconds West 131.90 feet to a concrete monument, thence North 42 degrees 06 minutes 04 seconds East 198.73 feet to the West boundary of said Section 33, thence South 89 degrees 28 minutes 54 seconds East 13.10 feet to the POINT OF BEGINNING; containing 0.36 acre, more or less.

and also:

An easement for ingress and egress and utility purposes over and across that portion of the real property described in the following Exhibit "C" which is not included in the above-referenced property.



EXHIBIT "B"

NOTE 1: Each Lot legal description in the original Exhibit "B," recorded in OR Book 1083 at Pages 325-394, was prefaced by the following certification and disclaimer, on some Lot descriptions dated June 30, 1983, and on other Lot descriptions dated July 1, 1983:

I hereby certify that the legal description shown hereon meets the Minimum Technical Standards for Land Surveying (F.A.C. 21HH-6).

The undersigned surveyor has not been provided a current title opinion or abstract of matters affecting title or boundary to the subject property. It is possible there are deeds of record, unrecorded deeds, easements or other instruments which could affect the boundaries.

NOTE 2: Each Lot description legal description in the original Exhibit "B," recorded in OR Book 1083 at Pages 325-394, was followed by the following boundary survey reference and additional disclaimer:

Bearings and source of information were taken from a boundary survey for Dennett Rainey and Ben Tucker prepared by Broward Davis & Assoc., Inc., on April 25, 1983, Job #73—064; PSR #2752. A complete survey has not been performed by Broward Davis & Assoc., Inc., to verify the accuracy of this property and there has been no onsite inspection to determine if the foregoing property has any improvements or encroachments.

FOREST GREEN

Lot 5

Begin at a concrete monument marking the Northwest corner of Section 33, Township 1 North, Range 1 East, Leon County, Florida (said concrete monument being located 21.26 feet South and 61.76 feet East of the Southeast corner of Lot 7, Block "B" of Glenwood Estates as recorded in Plat Book 2, Page 11 of the Public Records of Leon County, Florida) and run North 00 degrees 31 minutes 06 seconds East 21.29 feet to a concrete monument, thence North 89 degrees 58 minutes 27 seconds East 150.61 feet, thence South 00 degrees 01 minute 33 seconds East 43.23 feet, thence South 60 degrees 42 minutes 20 seconds West 174.04 feet to the West boundary of said Section 33, thence North 00 degrees 31 minutes 06 seconds East along said West boundary 107.04 feet to the POINT OF BEGINNING; containing 0.30 acre, more or less.

Street Address: 557 Forest Green Drive Tax ID #: 113307-000-005-0

Current Owners: Alexander J. Vuxton & A.M. Vuxton

Original Recording: OR 1083, Page 325

FOREST GREEN

Lot 6

Commence at a concrete monument marking the Northwest corner of Section 33, Township 1 North, Range 1 East, Leon County, Florida (said concrete monument being located 21.26 feet South and 61.76 feet East of the Southeast corner of Lot 7, Block "B" of Glenwood Estates as recorded in Plat Book 2, Page 11 of the Public Records of Leon County, Florida) and run North 00 degrees 31 minutes 06 seconds East 21.29 feet to a concrete monument, thence North 89 degrees 58 minutes 27 seconds East 150.61 feet, thence South 00 degrees 01 minute 33 seconds East 43.23 feet, thence South 60 degrees 42 minutes 20 seconds West 90.00 feet to the POINT OF BEGINNING. From said POINT OF BEGINNING continue South 60 degrees 42 minutes 20 seconds West 84.04 feet to the West boundary of said Section 33, thence South 00 degrees 31 minutes 06 seconds West along said West boundary 52.21 feet to the centerline of a 40 foot access easement, thence South 29 degrees 17 minutes 40 seconds East along said centerline 89.70 feet to the centerline of a 40 foot access easement, thence North 60 degrees 42 minutes 20 seconds East along said centerline 110.00 feet, thence North 29 degrees 17 minutes 40 seconds West 135.00 feet to the POINT OF BEGINNING: containing 0.33 acre, more or less.

The foregoing described property being subject to an access easement.

Street Address: 2006 Pepperidge Way Tax ID #: 113307-000-006-0

Current Owners: Thomas M. Hastings, Jr. & Janet L. Hastings

Original Recording: OR 1083, Page 326

FOREST GREEN

Lot 7

Commence at a concrete monument marking the Northwest corner of Section 33, Township 1 North, Range 1 East, Leon County, Florida (said concrete monument being located 21.26 feet South and 61.76 feet East of the Southeast corner of Lot 7, Block "B" of Glenwood Estates as recorded in Plat Book 2, Page 11 of the Public Records of Leon County, Florida) and run North 00 degrees 31 minutes 06 seconds East 21.29 feet to a concrete monument, thence North 89 degrees 58 minutes 27 seconds East 150.61 feet, thence South 00 degrees 01 minute 33 seconds East 43.23 feet to the POINT OF BEGINNING. From said POINT OF BEGINNING run South 60 degrees 42 minutes 20 seconds West 90.00 feet, thence South 29 degrees 17 minutes 40 seconds East 135.00 feet to the centerline of a 40 foot access easement, thence North 60 degrees 42 minutes 20 seconds East along said centerline 90.00 feet, thence North 29 degrees 17 minutes 40 seconds West 135.00 feet to the POINT OF BEGINNING; containing 0.28 acre, more or less.

The Southeasterly 20 feet of the foregoing described property being subject to an access easement.

Street Address: 2014 Pepperidge Way Tax ID #: 113307-000-007-0

Current Owner: Carolyn A. Schindler Revocable Trust

Original Recording: OR 1083, Page 327

FOREST GREEN  
Lot 8

Commence at a concrete monument marking the Northwest corner of Section 33, Township 1 North, Range 1 East, Leon County, Florida (said concrete monument being located 21.26 feet South and 61.76 feet East of the Southeast corner of Lot 7, Block "B" of Glenwood Estates as recorded in Plat Book 2, Page 11 of the Public Records of Leon County, Florida) and run North 00 degrees 31 minutes 06 seconds East 21.29 feet to a concrete monument, thence North 89 degrees 58 minutes 27 seconds East 150.61 feet to the POINT OF BEGINNING. From said POINT OF BEGINNING; continue North 89 degrees 58 minutes 27 seconds East 105.00 feet, thence South 09 degrees 18 minutes 12 seconds East 138.78 feet to a point lying on a curve concave to the Southerly on the centerline of a 40 foot access easement, thence from a tangent bearing of South 80 degrees 41 minutes 48 seconds West run Westerly along said centerline curve with a radius of 150.00 feet, through a central angle of 19 degrees 59 minutes 28 seconds, for an arc distance of 52.34 feet, thence South 60 degrees 42 minutes 20 seconds West along said centerline 14.01 feet, thence North 29 degrees 17 minutes 40 seconds West 135.00 feet, thence North 00 degrees 01 minute 33 seconds West 43.23 feet to the POINT OF BEGINNING: containing 0.33 acre, more or less.

The Southeasterly 20 feet of the foregoing described property being subject to an access easement.

Street Address: 2022 Pepperidge Way Tax ID #: 113307-000-008-0  
 Current Owners: Cory E. Deschner & Danna Holihan Deschner  
 Original Recording: OR 1083, Page 328 (Drainage easement over Northerly 30 feet noted in Original Recording was abandoned by Modification of Declaration of Covenants, Conditions and Restrictions of Forest Green recorded in OR 1395, Page 1616.)

FOREST GREEN  
Lot 9

Commence at a concrete monument marking the Northwest corner of Section 33, Township 1 North, Range 1 East, Leon County, Florida (said concrete monument being located 21.26 feet South and 61.76 feet East of the Southeast corner of Lot 7, Block "B" of Glenwood Estates as recorded in Plat Book 2, Page 11 of the Public Records of Leon County, Florida) and run North 00 degrees 31 minutes 06 seconds East 21.29 feet to a concrete monument, thence North 89 degrees 58 minutes 27 seconds East 255.61 feet to the POINT OF BEGINNING. From said POINT OF BEGINNING continue North 89 degrees 58 minutes 27 seconds East 115.81 feet, thence South 13 degrees 37 minutes 59 seconds West 143.29 feet to a point lying on a curve concave to the Southerly on the centerline of a 40 foot access easement, thence from a tangent bearing of North 76 degrees 22 minutes 01 second West run Westerly along said centerline curve with a radius of 150.00 feet, through a central angle of 22 degrees 56 minutes 11 seconds, for an arc distance of 60.05 feet, thence North 09 degrees 18 minutes 12 seconds West 138.78 feet to the POINT OF BEGINNING: containing 0.28 acre, more or less.

The Southerly 20 feet of the foregoing described property being subject to an access easement.

Street Address: 2030 Pepperidge Way Tax ID #: 113307-000-007-0  
 Current Owner: Patricia Louise Roett Original Recording: OR 1083, Page 329  
 (Drainage easement over Northerly 30 feet noted in Original Recording was abandoned by Modification of Declaration of Covenants, Conditions and Restrictions of Forest Green recorded in OR 1395, Page 1616.)

FOREST GREEN

Lot 10

Commence at a concrete monument marking the Northwest corner of Section 33, Township 1 North, Range 1 East, Leon County, Florida (said concrete monument being located 21.26 feet South and 61.76 feet East of the Southeast corner of Lot 7, Block "B" of Glenwood Estates as recorded in Plat Book 2, Page 11 of the Public Records of Leon County, Florida) and run North 00 degrees 31 minutes 06 seconds East 21.29 feet to a concrete monument, thence North 89 degrees 58 minutes 27 seconds East 371.42 feet to the POINT OF BEGINNING. From said POINT OF BEGINNING continue North 89 degrees 58 minutes 27 seconds East 145.00 feet, thence South 36 degrees 54 minutes 34 seconds West 206.56 feet to a point lying on a curve concave to the Southwesterly on the centerline of a 40 foot access easement, thence from a tangent bearing of North 53 degrees 05 minutes 26 seconds West run Northwesterly along said centerline curve with a radius of 150.00 feet, through a central angle of 23 degrees 16 minutes 35 seconds, for an arc distance of 60.94 feet, thence North 13 degrees 37 minutes 59 seconds East 143.29 feet to the POINT OF BEGINNING; containing 0.37 acre, more or less. The Southwesterly 20 feet of the foregoing described property being subject to an access easement.

Street Address: 2038 Pepperidge Way Tax ID #: 113307-000-010-0  
 Current Owners: Jeffrey Bond & Sally Bond Original Recording: OR 1083, Page 330  
~~(Drainage easement over Northerly 30 feet noted in Original Recording was abandoned by~~  
 Modification of Declaration of Covenants, Conditions and Restrictions of Forest Green recorded in OR 1395, Page 1616.)

FOREST GREEN

Lot 11

Commence at a concrete monument marking the Northwest corner of Section 33, Township 1 North, Range 1 East, Leon County, Florida (said concrete monument being located 21.26 feet South and 61.76 feet East of the Southeast corner of Lot 7, Block "B" of Glenwood Estates as recorded in Plat Book 2, Page 11 of the Public Records of Leon County, Florida) and run North 00 degrees 31 minutes 06 seconds East 21.29 feet to a concrete monument, thence North 89 degrees 58 minutes 27 seconds East 516.42 feet to the POINT OF BEGINNING. From said POINT OF BEGINNING continue North 89 degrees 58 minutes 27 seconds East 150.36 feet to a concrete monument, thence South 00 degrees 06 minutes 06 seconds West 40.48 feet, thence South 53 degrees 45 minutes 15 seconds West 288.56 feet to the centerline of a 40 foot access easement, thence North 36 degrees 14 minutes 45 seconds West along said centerline 18.13 feet to a point of curve to the left, thence along said centerline curve with a radius of 150.00 feet, through a central angle of 16 degrees 50 minutes 41 seconds, for an arc distance of 44.09 feet, thence North 36 degrees 54 minutes 34 seconds East 206.56 feet to the POINT OF BEGINNING; containing 0.61 acre, more or less.

The Southwesterly 20 feet of the foregoing described property being subject to an access easement. Also, the foregoing described property being subject to a drainage easement.

Street Address: 2046 Pepperidge Way Tax ID #: 113307-000-011-0  
 Current Owners: Melvina M. MacDonald & J. Michael Fagan  
 Original Recording: OR 1083, Page 331

FOREST GREEN

Lot 12

Commence at a concrete monument marking the Northwest corner of Section 33, Township 1 North, Range 1 East, Leon County, Florida (said concrete monument being located 21.26 feet South and 61.76 feet East of the Southeast corner of Lot 7, Block "B" of Glenwood Estates as recorded in Plat Book 2, Page 11 of the Public Records of Leon County, Florida) and run North 00 degrees 31 minutes 06 seconds East 21.29 feet to a concrete monument, thence North 89 degrees 58 minutes 27 seconds East 666.78 feet to a concrete monument, thence South 00 degrees 06 minutes 06 seconds West 40.48 feet to the POINT OF BEGINNING. From said POINT OF BEGINNING continue South 00 degrees 06 minutes 06 seconds West 99.33 feet, thence South 53 degrees 45 minutes 15 seconds West 229.69 feet to the center of a cul-de-sac with a 50 foot radius, thence North 36 degrees 14 minutes 45 seconds West along the centerline of a 40 foot access easement 80.00 feet, thence North 53 degrees 45 minutes 15 seconds East 288.56 feet to the POINT OF BEGINNING: containing 0.48 acre, more or less.

The foregoing described property being subject to an access easement and a drainage easement.

Street Address: 2054 Pepperidge Way Tax ID #: 113307-000-012-0

Current Owners: Todd Michael Lamb & Klady Benson Schloth Lamb

Original Recording: OR 1083, Page 332

FOREST GREEN

Lot 13

Commence at a concrete monument marking the Northwest corner of Section 33, Township 1 North, Range 1 East, Leon County, Florida (said concrete monument being located 21.26 feet South and 61.76 feet East of the Southeast corner of Lot 7, Block "B" of Glenwood Estates as recorded in Plat Book 2, Page 11 of the Public Records of Leon County, Florida) and run North 00 degrees 31 minutes 06 seconds East 21.29 feet to a concrete monument, thence North 89 degrees 58 minutes 27 seconds East 666.78 feet to a concrete monument, thence South 00 degrees 06 minutes 06 seconds West 139.81 feet to the POINT OF BEGINNING. From said POINT OF BEGINNING continue South 00 degrees 06 minutes 06 seconds West 187.45 feet, thence North 74 degrees 23 minutes 46 seconds West 191.98 feet to the center of a cul-de-sac with a 50 foot radius, thence North 53 degrees 45 minutes 15 seconds East 229.69 feet to the POINT OF BEGINNING: containing 0.40 acre, more or less.

The foregoing described property being subject to an access easement and a drainage easement.

Street Address: 2062 Pepperidge Way

Tax ID #: 113307-000-013-0

Current Owner: Leonard A. Krzycki

Original Recording: OR 1083, Page 333

FOREST GREEN

Lot 14

Commence at a concrete monument marking the Northwest corner of Section 33, Township 1 North, Range 1 East, Leon County, Florida (said concrete monument being located 21.26 feet South and 61.76 feet East of the Southeast corner of Lot 7, Block "B" of Glenwood Estates as recorded in Plat Book 2, Page 11 of the Public Records of Leon County, Florida) and run North 00 degrees 31 minutes 06 seconds East 21.29 feet to a concrete monument, thence North 89 degrees 58 minutes 27 seconds East 666.78 feet to a concrete monument, thence South 00 degrees 06 minutes 06 seconds West 327.26 feet to the POINT OF BEGINNING. From said POINT OF BEGINNING continue South 00 degrees 06 minutes 06 seconds West 110.00 feet to a concrete monument, thence North 89 degrees 29 minutes 35 seconds West 66.64 feet, thence North 36 degrees 14 minutes 45 seconds West 199.69 feet to the center of a cul-de-sac with a 50 foot radius, thence South 74 degrees 23 minutes 46 seconds East 191.98 feet to the POINT OF BEGINNING; containing 0.36 acre, more or less.

The foregoing described property being subject to an access easement.

Also, the Easterly 20 feet of the foregoing described property being subject to a drainage easement.

Street Address: 2070 Pepperidge Way Tax ID #: 113307-000-014-0

Current Owners: John D. Fuller & Laurinda Fuller Original Recording: OR 1083, Page 334

FOREST GREEN

Lot 15

Commence at a concrete monument marking the Northwest corner of Section 33, Township 1 North, Range 1 East, Leon County, Florida (said concrete monument being located 21.26 feet South and 61.76 feet East of the Southeast corner of Lot 7, Block "B" of Glenwood Estates as recorded in Plat Book 2, Page 11 of the Public Records of Leon County, Florida) and run North 00 degrees 31 minutes 06 seconds East 21.29 feet to a concrete monument, thence North 89 degrees 58 minutes 27 seconds East 666.78 feet to a concrete monument, thence South 00 degrees 06 minutes 06 seconds West 139.81 feet, thence South 53 degrees 45 minutes 15 seconds West 229.69 feet to the center of a cul-de-sac with a 50 foot radius for the POINT OF BEGINNING. From said POINT OF BEGINNING run South 36 degrees 14 minutes 45 seconds East 199.69 feet, thence North 89 degrees 29 minutes 35 seconds West 216.38 feet, thence North 31 degrees 42 minutes 11 seconds East 187.05 feet to the POINT OF BEGINNING; containing 0.40 acre, more or less.

The foregoing described property being subject to an access easement.

Street Address: 2061 Pepperidge Way Tax ID #: 113307-000-015-0

Current Owner: Melissa Patino Original Recording: OR 1083, Page 335



FOREST GREEN  
Lot 16

Commence at a concrete monument marking the Northwest corner of Section 33, Township 1 North, Range 1 East, Leon County, Florida (said concrete monument being located 21.26 feet South and 61.76 feet East of the Southeast corner of Lot 7, Block "B" of Glenwood Estates as recorded in Plat Book 2, Page 11 of the Public Records of Leon County, Florida) and run North 00 degrees 31 minutes 06 seconds East 21.29 feet to a concrete monument, thence North 89 degrees 58 minutes 27 seconds East 666.78 feet to a concrete monument, thence South 00 degrees 06 minutes 06 seconds West 139.81 feet, thence South 53 degrees 45 minutes 15 seconds West 229.69 feet to the center of a cul-de-sac with a 50 foot radius for the POINT OF BEGINNING. From said POINT OF BEGINNING run North 36 degrees 14 minutes 45 seconds West along the center of a 40 foot access easement 98.13 feet to a point of curve to the left, thence along said centerline curve with a radius of 150.00 feet, through a central angle of 15 degrees 16 minutes 44 seconds, for an arc distance of 40.00 feet, thence South 28 degrees 03 minutes 28 seconds West 155.54 feet, thence South 54 degrees 11 minutes 34 seconds East 120.00 feet, thence North 31 degrees 42 minutes 11 seconds East 117.05 feet to the POINT OF BEGINNING; containing 0.39 acre, more or less.

The foregoing described property being subject to an access easement.

Street Address:	2055 Pepperidge Way	Tax ID #:	113307-000-016-0
Current Owner:	Tammy L. Crew	Original Recording:	OR 1083, Page 336

FOREST GREEN  
Lot 17

Commence at a concrete monument marking the Northwest corner of Section 33, Township 1 North, Range 1 East, Leon County, Florida (said concrete monument being located 21.26 feet South and 61.76 feet East of the Southeast corner of Lot 7, Block "B" of Glenwood Estates as recorded in Plat Book 2, Page 11 of the Public Records of Leon County, Florida) and run North 00 degrees 31 minutes 06 seconds East 21.29 feet to a concrete monument, thence North 89 degrees 58 minutes 27 seconds East 150.61 feet, thence South 00 degrees 01 minute 33 seconds East 43.23 feet, thence South 29 degrees 17 minutes 40 seconds East 135.00 feet to the centerline of a 40 foot access easement, thence North 60 degrees 42 minutes 20 seconds East along said centerline 4.62 feet to the POINT OF BEGINNING. From said POINT OF BEGINNING continue North 60 degrees 42 minutes 20 seconds East along said centerline 9.39 feet to a point of curve to the right, thence along said centerline curve with a radius of 150.00 feet, through a central angle of 67 degrees 46 minutes 11 seconds, for an arc distance of 177.42 feet, thence South 28 degrees 03 minutes 28 seconds West 155.54 feet, thence North 54 degrees 11 minutes 34 seconds West 52.00 feet, thence North 27 degrees 15 minutes 40 seconds West 130.08 feet to the POINT OF BEGINNING; containing 0.39 acre, more or less.

The Northerly 20 feet of the foregoing described property being subject to an access easement.

Street Address:	2031 Pepperidge Way	Tax ID #:	113307-000-017-0
Current Owner:	Patricia M. Brewer	Original Recording:	OR 1083, Page 337

FOREST GREEN

Lot 18

Commence at a concrete monument marking the Northwest corner of Section 33, Township 1 North, Range 1 East, Leon County, Florida (said concrete monument being located 21.26 feet South and 61.76 feet East of the Southeast corner of Lot 7, Block "B" of Glenwood Estates as recorded in Plat Book 2, Page 11 of the Public Records of Leon County, Florida) and run North 00 degrees 31 minutes 06 seconds East 21.29 feet to a concrete monument, thence North 89 degrees 58 minutes 27 seconds East 150.61 feet, thence South 00 degrees 01 minute 33 seconds East 43.23 feet, thence South 60 degrees 42 minutes 20 seconds West 90.00 feet, thence South 29 degrees 17 minutes 40 seconds East 135.00 feet to the centerline of a 40 foot access easement for the POINT OF BEGINNING. From said POINT OF BEGINNING continue South 29 degrees 17 minutes 40 seconds East 130.00 feet, thence North 60 degrees 42 minutes 20 seconds East 90.00 feet, thence North 27 degrees 15 minutes 40 seconds West 130.08 feet to the centerline of said 40 foot access easement, thence South 60 degrees 42 minutes 20 seconds West along said centerline 94.62 feet to the POINT OF BEGINNING; containing 0.28 acre, more or less.

The Northwesterly 20 feet of the foregoing described property being subject to an access easement.

Street Address: 2013 Pepperidge Way Tax ID #: 113307-000-018-0

Current Owners: Darren M. Thompson & Marissa A. Fritz

Original Recording: OR 1083, Page 338

FOREST GREEN  
Lot 19 and Addition

Commence at a concrete monument marking the Northwest corner of Section 33, Township 1 North, Range 1 East, Leon County, Florida (said concrete monument being located 21.26 feet South and 61.76 feet East of the Southeast corner of Lot 7, Block "B" of Glenwood Estates as recorded in Plat Book 2, Page 11 of the Public Records of Leon County, Florida) and run North 00 degrees 31 minutes 06 seconds East 21.29 feet to a concrete monument, thence North 89 degrees 58 minutes 27 seconds East 150.61 feet, thence South 00 degrees 01 minute 33 seconds East 43.23 feet, thence South 60 degrees 42 minutes 20 seconds West 90.00 feet, thence South 29 degrees 17 minutes 40 seconds East 135.00 feet to the centerline of a 40 foot access easement for the POINT OF BEGINNING. From said POINT OF BEGINNING run South 60 degrees 42 minutes 20 seconds West along said centerline 110.00 feet to the centerline of a 40 foot access easement, thence South 29 degrees 17 minutes 40 seconds East along said centerline 95.71 feet to a point of curve to the left, thence along said centerline curve with a radius of 109.81 feet, through a central angle of 18 degrees 11 minutes 49 seconds, for an arc distance of 34.88 feet, thence North 60 degrees 42 minutes 20 seconds East 104.51 feet, thence North 29 degrees 17 minutes 40 seconds West 130.00 feet to the POINT OF BEGINNING; containing 0.33 acre, more or less.

The foregoing described property being subject to an access easement.

AND Addition to Lot 19

Commence at a concrete monument marking the Northwest corner of Section 33, Township 1 North, Range 1 East, Leon County, Florida (said concrete monument being located 21.26 feet South and 61.76 feet East of the Southeast corner of Lot 7, Block "B" of Glenwood Estates as recorded in Plat Book 2, Page 11 of the Public Records of Leon County, Florida) and run North 00 degrees 31 minutes 06 seconds East 21.29 feet to a concrete monument, thence North 89 degrees 58 minutes 27 seconds East 150.61 feet, thence South 00 degrees 01 minute 33 seconds East 43.23 feet, thence South 60 degrees 42 minutes 20 seconds West 90.00 feet, thence South 29 degrees 17 minutes 40 seconds East 135.00 feet to the centerline of a 40 foot access easement, thence continue South 29 degrees 17 minutes 40 seconds East 130.00 feet to the POINT OF BEGINNING. From said POINT OF BEGINNING run South 51 degrees 29 minutes 24 seconds West 99.15 feet to the centerline of a 40 foot access easement on a curve concave to the Northeast, thence from a tangent bearing of North 56 degrees 28 minutes 50 seconds West run Northwesterly along said centerline with a radius of 109.81 feet, through a central angle of 08 degrees 59 minutes 21 seconds, an arc distance of 17.23 feet, thence North 60 degrees 42 minutes 21 seconds East 104.51 feet to the POINT OF BEGINNING; containing 834 square feet.

The Southwesterly 20 feet of the foregoing described property being subject to an access easement.

Street Address: 2005 Pepperidge Way Tax ID #: 113307-000-019-0

Current Owners: Frank V. Trombino & Barbara J. Trombino

Original Recording: OR 1083, Page 339; Addition first recorded (deed) OR 1438, Page 1552

FOREST GREEN  
Lot 20 - Revised

Commence at a concrete monument marking the Northwest corner of Section 33, Township 1 North, Range 1 East, Leon County, Florida (said concrete monument being located 21.26 feet South and 61.76 feet East of the Southeast corner of Lot 7, Block "B" of Glenwood Estates as recorded in Plat Book 2, Page 11 of the Public Records of Leon County, Florida) and run North 00 degrees 31 minutes 06 seconds East 21.29 feet to a concrete monument, thence North 89 degrees 58 minutes 27 seconds East 150.61 feet, thence South 00 degrees 01 minute 33 seconds East 43.23 feet, thence South 29 degrees 17 minutes 40 seconds East 135.00 feet to the centerline of a 40 foot access easement, thence North 60 degrees 42 minutes 20 seconds East along said centerline 4.62 feet, thence South 27 degrees 15 minutes 40 seconds East 130.08 feet to the POINT OF BEGINNING. From said POINT OF BEGINNING run South 54 degrees 11 minutes 34 seconds East 88.20 feet, thence South 60 degrees 42 minutes 20 seconds West 172.49 feet to the centerline of a 40 foot access easement, thence North 71 degrees 03 minutes 15 seconds West along said centerline 55.17 feet to a point of curve to the right, thence along said centerline curve with a radius of 109.81 feet, through a central angle of 14 degrees 34 minutes 25 seconds, for an arc distance of 27.93 feet, thence North 51 degrees 29 minutes 24 seconds East 99.15 feet, thence North 60 degrees 42 minutes 20 seconds East 90.00 feet to the POINT OF BEGINNING; containing 0.34 acre, more or less.

The Southwesterly 20 feet of the foregoing described property being subject to an access easement. The Southeasterly 5 feet of the foregoing described property being subject to a drainage easement.

Street Address: 545 Forest Green Drive Tax ID #: 113307-000-020-0

Current Owner: Doriann Martin

Original Recording: OR 1083, Page 340; Revised first recorded (deed) OR 2043, Page 434

FOREST GREEN  
Lot 21

Commence at a concrete monument marking the Northwest corner of Section 33, Township 1 North, Range 1 East, Leon County, Florida (said concrete monument being located 21.26 feet South and 61.76 feet East of the Southeast corner of Lot 7, Block "B" of Glenwood Estates as recorded in Plat Book 2, Page 11 of the Public Records of Leon County, Florida) and run North 00 degrees 31 minutes 06 seconds East 21.29 feet to a concrete monument, thence North 89 degrees 58 minutes 27 seconds East 150.61 feet, thence South 00 degrees 01 minute 33 seconds East 43.23 feet, thence South 29 degrees 17 minutes 40 seconds East 135.00 feet to the centerline of a 40 foot access easement, thence North 60 degrees 42 minutes 20 seconds East along said centerline 4.62 feet, thence South 27 degrees 15 minutes 40 seconds East 130.08 feet, thence South 54 degrees 11 minutes 34 seconds East 88.20 feet to the POINT OF BEGINNING. From said POINT OF BEGINNING run South 60 degrees 42 minutes 20 seconds West 172.49 feet to the centerline of a 40 foot access easement, thence South 71 degrees 03 minutes 15 seconds East along said centerline 12.47 feet to a point of curve to the right, thence along said centerline curve with a radius of 55.91 feet, through a central angle of 44 degrees 36 minutes 28 seconds, for an arc distance of 43.53 feet, thence North 63 degrees 33 minutes 14 seconds East 20.00 feet to a concrete monument, thence South 89 degrees 29 minutes 35 seconds East 120.00 feet, thence North 31 degrees 42 minutes 11 seconds East 70.00 feet, thence North 54 degrees 11 minutes 34 seconds West 83.80 feet to the POINT OF BEGINNING; containing 0.32 acre, more or less.

The Southwesterly 20 feet of the foregoing described property being subject to an access easement.

Street Address: 541 Forest Green Drive Tax ID #: 113307-000-021-0

Current Owner: Thomas Hudson Blais Original Recording: OR 1083, Page 341

FOREST GREEN

## Lot 22

Commence at a concrete monument marking the Northwest corner of Section 33, Township 1 North, Range 1 East, Leon County, Florida (said concrete monument being located 21.26 feet South and 61.76 feet East of the Southeast corner of Lot 7, Block "B" of Glenwood Estates as recorded in Plat Book 2, Page 11 of the Public Records of Leon County, Florida) and run South 00 degrees 31 minutes 06 seconds West (bearing base) along the West boundary of said Section 33 a distance of 329.54 feet to a concrete monument for the POINT OF BEGINNING. From said POINT OF BEGINNING run North 60 degrees 42 minutes 20 seconds East 84.67 feet to the centerline of a 40 foot access easement, thence South 29 degrees 17 minutes 40 seconds East along said centerline 37.65 feet to a point of curve to the left, thence along said centerline curve with a radius of 109.81 feet, through a central angle of 30 degrees 53 minutes 10 seconds, for an arc distance of 59.20 feet, thence South 29 degrees 49 minutes 10 seconds West 109.76 feet, thence North 89 degrees 28 minutes 54 seconds West 80.00 feet to the West boundary of said Section 33, thence North 00 degrees 31 minutes 06 seconds East along said West boundary 127.46 feet to the POINT OF BEGINNING; containing 0.36 acre, more or less.

The Northeasterly 20 feet of the foregoing described property being subject to an access easement.

Street Address: 548 Forest Green Drive  
Current Owner: Carol A. Lassiter

Tax ID #: 113307-000-022-0  
Original Recording: OR 1083, Page 342

FOREST GREEN

## Lot 23

Commence at a concrete monument marking the Northwest corner of Section 33, Township 1 North, Range 1 East, Leon County, Florida (said concrete monument being located 21.26 feet South and 61.76 feet East of the Southeast corner of Lot 7, Block "B" of Glenwood Estates as recorded in Plat Book 2, Page 11 of the Public Records of Leon County, Florida) and run South 00 degrees 31 minutes 06 seconds West (bearing base) along the West boundary of said Section 33 a distance of 457.00 feet, thence South 89 degrees 28 minutes 54 seconds East 80.00 feet to the POINT OF BEGINNING. From said POINT OF BEGINNING run North 29 degrees 49 minutes 10 seconds East 109.76 feet to a point lying on a curve concave to the Northeasterly on the centerline of a 40 foot access easement, thence from a tangent bearing of South 60 degrees 10 minutes 50 seconds East run Southeasterly along said centerline curve with a radius of 109.81 feet, through a central angle of 10 degrees 52 minutes 25 seconds, for an arc distance of 20.84 feet, thence South 71 degrees 03 minutes 15 seconds East 67.64 feet to a point of curve to the right, thence along said centerline curve with a radius of 55.91 feet, through a central angle of 44 degrees 36 minutes 28 seconds, for an arc distance of 43.53 feet, thence North 63 degrees 33 minutes 14 seconds East 20.00 feet to a concrete monument lying on a curve concave to the Southwesterly, thence from a tangent bearing of South 26 degrees 26 minutes 46 seconds East run Southerly along said curve and along the Easterly boundary of said 40 foot access easement with a radius of 75.91 feet, through a central angle of 34 degrees 09 minutes 53 seconds, for an arc distance of 45.26 feet to a concrete monument, thence South 07 degrees 43 minutes 06 seconds West along the Easterly boundary of said 40 foot access easement 48.74 feet, thence North 89 degrees 28 minutes 54 seconds West 182.02 feet, thence North 07 degrees 36 minutes 42 seconds West 45.46 feet to the POINT OF BEGINNING; containing 0.47 acre, more or less.

The foregoing described property being subject to an access easement.

Street Address: 540 Forest Green Drive  
Current Owners: Robert Paul Adams & Lauren N. Adams  
Original Recording: OR 1083, Page 343-344

FOREST GREEN

## Lot 24

Commence at a concrete monument marking the Northwest corner of Section 33, Township 1 North, Range 1 East, Leon County, Florida (said concrete monument being located 21.26 feet South and 61.76 feet East of the Southeast corner of Lot 7, Block "B" of Glenwood Estates as recorded in Plat Book 2, Page 11 of the Public Records of Leon County, Florida) and run South 00 degrees 31 minutes 06 seconds West (bearing base) along the West boundary of said Section 33 a distance of 597.00 feet, thence South 89 degrees 28 minutes 54 seconds East 100.00 feet to the center of a cul-de-sac with a 25 foot radius for the POINT OF BEGINNING. From said POINT OF BEGINNING continue South 89 degrees 28 minutes 54 seconds East along the centerline of a 30 foot access easement and a projection thereof a distance of 156.45 feet to the East boundary of a 40 foot access easement, thence North 07 degrees 43 minutes 06 seconds East along said East boundary 95.76 feet, thence North 89 degrees 28 minutes 54 seconds West 182.02 feet, thence South 07 degrees 36 minutes 42 seconds East 95.96 feet to the POINT OF BEGINNING; containing 0.37 acre, more or less.

The foregoing described property being subject to an access easement.

Street Address: 532 Forest Green Drive Tax ID #: 113307-000-024-0

Current Owners: Boyd L. Merritt & Leigh H. Bryson

Original Recording: OR 1083, Page 345

FOREST GREEN

## Lot 25

Commence at a concrete monument marking the Northwest corner of Section 33, Township 1 North, Range 1 East, Leon County, Florida (said concrete monument being located 21.26 feet South and 61.76 feet East of the Southeast corner of Lot 7, Block "B" of Glenwood Estates as recorded in Plat Book 2, Page 11 of the Public Records of Leon County, Florida) and run South 00 degrees 31 minutes 06 seconds West (bearing base) along the West boundary of said Section 33 a distance of 457.00 feet to the POINT OF BEGINNING. From said POINT OF BEGINNING continue South 00 degrees 31 minutes 06 seconds West along said West boundary 140.00 feet, thence South 89 degrees 28 minutes 54 seconds East 100.00 feet to the center of a cul-de-sac with a 25 foot radius, thence North 07 degrees 36 minutes 42 seconds West 141.42 feet, thence North 89 degrees 28 minutes 54 seconds West 80.00 feet to the POINT OF BEGINNING; containing 0.29 acre, more or less.

The foregoing described property being subject to an access easement.

Street Address: 1998 Copper Beech Court Tax ID #: 113307-000-025-0

Current Owners: Arthur D. Wilson & Theresa Wilson

Original Recording: OR 1083, Page 346

FOREST GREEN

Lot 26

Commence at a concrete monument marking the Northwest corner of Section 33, Township 1 North, Range 1 East, Leon County, Florida (said concrete monument being located 21.26 feet South and 61.76 feet East of the Southeast corner of Lot 7, Block "B" of Glenwood Estates as recorded in Plat Book 2, Page 11 of the Public Records of Leon County, Florida) and run South 00 degrees 31 minutes 06 seconds West (bearing base) along the West boundary of said Section 33 a distance of 597.00 feet to the POINT OF BEGINNING. From said POINT OF BEGINNING continue South 00 degrees 31 minutes 06 seconds West along said West boundary 149.23 feet, thence South 89 degrees 28 minutes 54 seconds East 80.00 feet, thence North 08 degrees 09 minutes 07 seconds East 150.56 feet to the center of a cul-de-sac with a 25 foot radius, thence North 89 degrees 28 minutes 54 seconds West 100.00 feet to the POINT OF BEGINNING; containing 0.31 acre, more or less.

The foregoing described property being subject to an access easement.

Street Address: 1997 Copper Beech Court

Tax ID #: 113307-000-026-0

Current Owner: Sally C. Sanders

Original Recording: OR 1083, Page 347

FOREST GREEN

Lot 27

Commence at a concrete monument marking the Northwest corner of Section 33, Township 1 North, Range 1 East, Leon County, Florida (said concrete monument being located 21.26 feet South and 61.76 feet East of the Southeast corner of Lot 7, Block "B" of Glenwood Estates as recorded in Plat Book 2, Page 11 of the Public Records of Leon County, Florida) and run South 00 degrees 31 minutes 06 seconds West (bearing base) along the West boundary of said Section 33 a distance of 597.00 feet, thence South 89 degrees 28 minutes 54 seconds East 100.00 feet to the center of a cul-de-sac with a 25 foot radius for the POINT OF BEGINNING. From said POINT OF BEGINNING continue South 89 degrees 28 minutes 54 seconds East along the centerline of a 30 foot access easement and a projection thereof a distance of 156.45 feet to the Easterly boundary of a 40 foot access easement, thence South 07 degrees 43 minutes 06 seconds West along said Easterly boundary 20.81 feet to a concrete monument marking a point of curve to the right, thence along said boundary curve with a radius of 114.33 feet, through a central angle of 33 degrees 37 minutes 45 seconds, for an arc distance of 67.10 feet, thence South 41 degrees 20 minutes 51 seconds West along said Easterly boundary 82.12 feet to a concrete monument marking a point of curve to the left, thence along said boundary curve with a radius of 117.02 feet, through a central angle of 03 degrees 47 minutes 28 seconds, for an arc distance of 7.74 feet, thence North 89 degrees 28 minutes 54 seconds West 88.36 feet, thence North 08 degrees 09 minutes 07 seconds East 150.56 feet to the POINT OF BEGINNING; containing 0.46 acre, more or less.

The foregoing described property being subject to an access easement.

Street Address: 2005 Copper Beech Court

Tax ID #: 113307-000-027-0

Current Owner: Alice N. Casell (Caswell)

Original Recording: OR 1083, Page 348

FOREST GREEN

Lot 28

Commence at a concrete monument marking the Northwest corner of Section 33, Township 1 North, Range 1 East, Leon County, Florida (said concrete monument being located 21.26 feet South and 61.76 feet East of the Southeast corner of Lot 7, Block "B" of Glenwood Estates as recorded in Plat Book 2, Page 11 of the Public Records of Leon County, Florida) and run South 00 degrees 31 minutes 06 seconds West (bearing base) along the West boundary of said Section 33 a distance of 746.23 feet to the POINT OF BEGINNING. From said POINT OF BEGINNING continue South 00 degrees 31 minutes 06 seconds West along said West boundary 90.00 feet, thence North 87 degrees 27 minutes 52 seconds East 125.53 feet to the centerline of a 40 foot access easement, thence South 89 degrees 31 minutes 13 seconds East 20.09 feet to a concrete monument on the Easterly boundary of said 40 foot access easement, thence North 05 degrees 01 minute 20 seconds West along said Easterly boundary 1.52 feet to a concrete monument marking a point of curve to the right, thence along said boundary curve with a radius of 117.02 feet, through a central angle of 42 degrees 34 minutes 43 seconds, for an arc distance of 86.96 feet, thence North 89 degrees 28 minutes 54 seconds West 168.36 feet to the POINT OF BEGINNING; containing 0.30 acre, more or less.

The Easterly 40 feet of the foregoing described property being subject to an access easement.

Street Address: 516 Forest Green Drive Tax ID #: Confidential Parcel  
 Current Owner: Exempt Per Florida Statute 119.071 Original Recording: OR 1083, Page 349

FOREST GREEN

Lot 29

Commence at a concrete monument marking the Northwest corner of Section 33, Township 1 North, Range 1 East, Leon County, Florida (said concrete monument being located 21.26 feet South and 61.76 feet East of the Southeast corner of Lot 7, Block "B" of Glenwood Estates as recorded in Plat Book 2, Page 11 of the Public Records of Leon County, Florida) and run South 00 degrees 31 minutes 06 seconds West (bearing base) along the West boundary of said Section 33 a distance of 836.23 feet to the POINT OF BEGINNING. From said POINT OF BEGINNING continue South 00 degrees 31 minutes 06 seconds West along said West boundary 90.00 feet, thence South 89 degrees 28 minutes 54 seconds East 135.00 feet to the centerline of a 40 foot access easement, thence North 00 degrees 31 minutes 06 seconds East along said centerline 19.88 feet to a point of curve to the left, thence along said centerline curve with a radius of 260.00 feet, through a central angle of 13 degrees 02 minutes 53 seconds, for an arc distance of 59.21 feet to a point of reverse curve, thence along said centerline curve with a radius of 137.02 feet, through a central angle of 07 degrees 40 minutes 41 seconds, for an arc distance of 18.36 feet, thence South 87 degrees 27 minutes 52 seconds West 125.53 feet to the POINT OF BEGINNING; containing 0.28 acre, more or less.

The Easterly 20 feet of the foregoing described property being subject to an access easement.

Street Address: 508 Forest Green Drive Tax ID #: 113307-000-029-0  
 Current Owners: William A. Bozel & Bonnie A. Malloy  
 Original Recording: OR 1083, Page 350

FOREST GREEN

Lot 30

Commence at a concrete monument marking the Northwest corner of Section 33, Township 1 North, Range 1 East, Leon County, Florida (said concrete monument being located 21.26 feet South and 61.76 feet East of the Southeast corner of Lot 7, Block "B" of Glenwood Estates as recorded in Plat Book 2, Page 11 of the Public Records of Leon County, Florida) and run South 00 degrees 31 minutes 06 seconds West (bearing base) along the West boundary of said Section 33 a distance of 926.23 feet to the POINT OF BEGINNING. From said POINT OF BEGINNING continue South 00 degrees 31 minutes 06 seconds West 90.00 feet, thence South 89 degrees 28 minutes 54 seconds East 135.00 feet to the centerline of a 40 foot access easement, thence North 00 degrees 31 minutes 06 seconds East along said centerline 90.00 feet, thence North 89 degrees 28 minutes 54 seconds West 135.00 feet to the POINT OF BEGINNING; containing 0.28 acre, more or less.

The Easterly 20 feet of the foregoing described property being subject to an access easement.

Also, the Westerly 15 feet of the foregoing described property being subject to a drainage easement.

Street Address: 500 Forest Green Drive Tax ID #: 113307-000-030-0

Current Owners: Gillian Stewart Gregory & Alexis Stewart

Original Recording: OR 1083, Page 351

Mailing Address: 2301 Napoleon Bonaparte Dr., Tallahassee, FL 32308

FOREST GREEN

Lot 31

Commence at a concrete monument marking the Northwest corner of Section 33, Township 1 North, Range 1 East, Leon County, Florida (said concrete monument being located 21.26 feet South and 61.76 feet East of the Southeast corner of Lot 7, Block "B" of Glenwood Estates as recorded in Plat Book 2, Page 11 of the Public Records of Leon County, Florida) and run South 00 degrees 31 minutes 06 seconds West (bearing base) along the West boundary of said Section 33 a distance of 1016.23 feet to the POINT OF BEGINNING. From said POINT OF BEGINNING continue South 00 degrees 31 minutes 06 seconds West 90.00 feet, thence South 89 degrees 28 minutes 54 seconds East 135.00 feet to the centerline of a 40 foot access easement, thence North 00 degrees 31 minutes 06 seconds East along said centerline 90.00 feet, thence North 89 degrees 28 minutes 54 seconds West 135.00 feet to the POINT OF BEGINNING; containing 0.28 acre, more or less.

The Easterly 20 feet of the foregoing described property being subject to an access easement.

Also, the Westerly 15 feet of the foregoing described property being subject to a drainage easement.

Street Address: 492 Forest Green Drive Tax ID #: 113307-000-031-0

Current Owners: William A. Pericelli & Terry D. Pericelli

Original Recording: OR 1083, Page 352

FOREST GREEN

Lot 32

Commence at a concrete monument marking the Northwest corner of Section 33, Township 1 North, Range 1 East, Leon County, Florida (said concrete monument being located 21.26 feet South and 61.76 feet East of the Southeast corner of Lot 7, Block "B" of Glenwood Estates as recorded in Plat Book 2, Page 11 of the Public Records of Leon County, Florida) and run South 00 degrees 31 minutes 06 seconds West (bearing base) along the West boundary of said Section 33 a distance of 1106.23 feet to the POINT OF BEGINNING. From said POINT OF BEGINNING continue South 00 degrees 31 minutes 06 seconds West 90.00 feet, thence South 89 degrees 28 minutes 54 seconds East 135.00 feet to the centerline of a 40 foot access easement, thence North 00 degrees 31 minutes 06 seconds East along said centerline 90.00 feet, thence North 89 degrees 28 minutes 54 seconds West 135.00 feet to the POINT OF BEGINNING; containing 0.28 acre, more or less.

The Easterly 20 feet of the foregoing described property being subject to an access easement.

Also, the Westerly 15 feet of the foregoing described property being subject to a drainage easement.

Street Address: 484 Forest Green Drive Tax ID #: 113307-000-032-0

Current Owners: Melvin Youmans & Gail G. Youmans

Original Recording: OR 1083, Page 353

FOREST GREEN

Lot 33

Commence at a concrete monument marking the Northwest corner of Section 33, Township 1 North, Range 1 East, Leon County, Florida (said concrete monument being located 21.26 feet South and 61.76 feet East of the Southeast corner of Lot 7, Block "B" of Glenwood Estates as recorded in Plat Book 2, Page 11 of the Public Records of Leon County, Florida) and run South 00 degrees 31 minutes 06 seconds West (bearing base) along the West boundary of said Section 33 a distance of 1196.23 feet to the POINT OF BEGINNING. From said POINT OF BEGINNING continue South 00 degrees 31 minutes 06 seconds West 90.00 feet, thence South 89 degrees 28 minutes 54 seconds East 135.00 feet to the centerline of a 40 foot access easement, thence North 00 degrees 31 minutes 06 seconds East along said centerline 90.00 feet, thence North 89 degrees 28 minutes 54 seconds West 135.00 feet to the POINT OF BEGINNING; containing 0.28 acre, more or less.

The Easterly 20 feet of the foregoing described property being subject to an access easement.

Also, the Westerly 15 feet of the foregoing described property being subject to a drainage easement.

Street Address: 476 Forest Green Drive

Tax ID #: 113307-000-033-0

Current Owner: William A. Lott

Original Recording: OR 1083, Page 354

FOREST GREEN

Lot 34

Commence at a concrete monument marking the Northwest corner of Section 33, Township 1 North, Range 1 East, Leon County, Florida (said concrete monument being located 21.26 feet South and 61.76 feet East of the Southeast corner of Lot 7, Block "B" of Glenwood Estates as recorded in Plat Book 2, Page 11 of the Public Records of Leon County, Florida) and run South 00 degrees 31 minutes 06 seconds West (bearing base) along the West boundary of said Section 33 a distance of 1286.23 feet to the POINT OF BEGINNING. From said POINT OF BEGINNING continue South 00 degrees 31 minutes 06 seconds West 90.00 feet, thence South 89 degrees 28 minutes 54 seconds East 135.00 feet to the centerline of a 40 foot access easement, thence North 00 degrees 31 minutes 06 seconds East along said centerline 90.00 feet, thence North 89 degrees 28 minutes 54 seconds West 135.00 feet to the POINT OF BEGINNING; containing 0.28 acre, more or less.

The Easterly 20 feet of the foregoing described property being subject to an access easement.  
Also, the Westerly 15 feet of the foregoing described property being subject to a drainage easement.

Street Address: 468 Forest Green Drive      Tax ID #: 113307-000-034-0  
Current Owners: Gerald A. Waldron & Louise N. Waldron  
Original Recording: OR 1083, Page 355

FOREST GREEN

Lot 35

Commence at a concrete monument marking the Northwest corner of Section 33, Township 1 North, Range 1 East, Leon County, Florida (said concrete monument being located 21.26 feet South and 61.76 feet East of the Southeast corner of Lot 7, Block "B" of Glenwood Estates as recorded in Plat Book 2, Page 11 of the Public Records of Leon County, Florida) and run South 00 degrees 31 minutes 06 seconds West (bearing base) along the West boundary of said Section 33 a distance of 1376.23 feet to the POINT OF BEGINNING. From said POINT OF BEGINNING continue South 00 degrees 31 minutes 06 seconds West 90.00 feet, thence South 89 degrees 28 minutes 54 seconds East 135.00 feet to the centerline of a 40 foot access easement, thence North 00 degrees 31 minutes 06 seconds East along said centerline 90.00 feet, thence North 89 degrees 28 minutes 54 seconds West 135.00 feet to the POINT OF BEGINNING; containing 0.28 acre, more or less.

The Easterly 20 feet of the foregoing described property being subject to an access easement.  
Also, the Westerly 15 feet of the foregoing described property being subject to a drainage easement.

Street Address: 460 Forest Green Drive      Tax ID #: 113307-000-035-0  
Current Owner: David L. Winialski      Original Recording: OR 1083, Page 356

FOREST GREEN

Lot 36

Commence at a concrete monument marking the Northwest corner of Section 33, Township 1 North, Range 1 East, Leon County, Florida (said concrete monument being located 21.26 feet South and 61.76 feet East of the Southeast corner of Lot 7, Block "B" of Glenwood Estates as recorded in Plat Book 2, Page 11 of the Public Records of Leon County, Florida) and run South 00 degrees 31 minutes 06 seconds West (bearing base) along the West boundary of said Section 33 a distance of 1466.23 feet to the POINT OF BEGINNING. From said POINT OF BEGINNING continue South 00 degrees 31 minutes 06 seconds West 90.00 feet, thence South 89 degrees 28 minutes 54 seconds East 135.00 feet to the centerline of a 40 foot access easement, thence North 00 degrees 31 minutes 06 seconds East along said centerline 90.00 feet, thence North 89 degrees 28 minutes 54 seconds West 135.00 feet to the POINT OF BEGINNING; containing 0.28 acre, more or less.

The Easterly 20 feet of the foregoing described property being subject to an access easement.

Also, the Westerly 15 feet of the foregoing described property being subject to a drainage easement.

Street Address: 452 Forest Green Drive

Tax ID #: 113307-000-036-0

Current Owner: Andree M. Aubrey

Original Recording: OR 1083, Page 357

FOREST GREEN

Lot 37

Commence at a concrete monument marking the Northwest corner of Section 33, Township 1 North, Range 1 East, Leon County, Florida (said concrete monument being located 21.26 feet South and 61.76 feet East of the Southeast corner of Lot 7, Block "B" of Glenwood Estates as recorded in Plat Book 2, Page 11 of the Public Records of Leon County, Florida) and run South 00 degrees 31 minutes 06 seconds West (bearing base) along the West boundary of said Section 33 a distance of 1556.23 feet to the POINT OF BEGINNING. From said POINT OF BEGINNING continue South 00 degrees 31 minutes 06 seconds West 90.00 feet, thence South 89 degrees 28 minutes 54 seconds East 135.00 feet to the centerline of a 40 foot access easement, thence North 00 degrees 31 minutes 06 seconds East along said centerline 90.00 feet, thence North 89 degrees 28 minutes 54 seconds West 135.00 feet to the POINT OF BEGINNING; containing 0.28 acre, more or less.

The Easterly 20 feet of the foregoing described property being subject to an access easement.

Also, the Westerly 15 feet of the foregoing described property being subject to a drainage easement.

Street Address: 444 Forest Green Drive

Tax ID #: 113307-000-037-0

Current Owner: Harold R. Joyner

Original Recording: OR 1083, Page 358

FOREST GREEN  
Lot 38

Commence at a concrete monument marking the Northwest corner of Section 33, Township 1 North, Range 1 East, Leon County, Florida (said concrete monument being located 21.26 feet South and 61.76 feet East of the Southeast corner of Lot 7, Block "B" of Glenwood Estates as recorded in Plat Book 2, Page 11 of the Public Records of Leon County, Florida) and run South 00 degrees 31 minutes 06 seconds West (bearing base) along the West boundary of said Section 33 a distance of 1646.23 feet to the POINT OF BEGINNING. From said POINT OF BEGINNING continue South 00 degrees 31 minutes 06 seconds West along said West boundary 200.00 feet to a concrete monument lying on a curve concave to the Northerly on the Northerly right of way boundary of the Seaboard Coast Line Railroad (120 foot right of way), thence from a tangent bearing of North 89 degrees 51 minutes 37 seconds East run Easterly along said right of way curve with a radius of 1798.26 feet, through a central angle of 04 degrees 18 minutes 28 seconds, for an arc distance of 135.19 feet, thence North 00 degrees 31 minutes 06 seconds East 193.37 feet to the center of a cul-de-sac with a 50 foot radius, thence North 89 degrees 28 minutes 54 seconds West 135.00 feet to the POINT OF BEGINNING; containing 0.61 acre, more or less.

The foregoing described property being subject to an access easement and a drainage easement.

Street Address:	0 Forest Green Drive	Tax ID #:	113307-000-038-0
Current Owner:	Harold R. Joyner	Original Recording:	OR 1083, Page 359

FOREST GREEN  
Lot 39

Commence at a concrete monument marking the Northwest corner of Section 33, Township 1 North, Range 1 East, Leon County, Florida (said concrete monument being located 21.26 feet South and 61.76 feet East of the Southeast corner of Lot 7, Block "B" of Glenwood Estates as recorded in Plat Book 2, Page 11 of the Public Records of Leon County, Florida) and run South 00 degrees 31 minutes 06 seconds West (bearing base) along the West boundary of said Section 33 a distance of 926.23 feet, thence South 89 degrees 28 minutes 54 seconds East 135.00 feet to the centerline of a 40 foot access easement, thence South 00 degrees 31 minutes 06 seconds West along said centerline 678.30 feet to the POINT OF BEGINNING. From said POINT OF BEGINNING continue South 00 degrees 31 minutes 06 seconds West along said centerline 41.70 feet to the center of a cul-de-sac with a 50 foot radius, thence continue South 00 degrees 31 minutes 06 seconds West 193.37 feet to a point lying on a curve concave to the Northerly on the Northerly right of way boundary of the Seaboard Coast Line Railroad (120 foot right of way), thence from a tangent bearing of North 85 degrees 33 minutes 09 seconds East run Easterly along said right of way curve with a radius of 1798.26 feet, through a central angle of 04 degrees 20 minutes 09 seconds, for an arc distance of 136.09 feet, thence North 00 degrees 31 minutes 06 seconds East 218.18 feet, thence North 89 degrees 28 minutes 54 seconds West 135.00 feet to the POINT OF BEGINNING; containing 0.71 acre, more or less.

The foregoing described property being subject to an access easement and a drainage easement.

Street Address:	483 Forest Green Drive	Tax ID #:	113307-000-039-0
Current Owner:	Patrick Jeffries	Original Recording:	OR 1083, Page 360

FOREST GREEN

Lot 40

Commence at a concrete monument marking the Northwest corner of Section 33, Township 1 North, Range 1 East, Leon County, Florida (said concrete monument being located 21.26 feet South and 61.76 feet East of the Southeast corner of Lot 7, Block "B" of Glenwood Estates as recorded in Plat Book 2, Page 11 of the Public Records of Leon County, Florida) and run South 00 degrees 31 minutes 06 seconds West (bearing base) along the West boundary of said Section 33 a distance of 926.23 feet, thence South 89 degrees 28 minutes 54 seconds East 135.00 feet to the centerline of a 40 foot access easement, thence South 00 degrees 31 minutes 06 seconds West along said centerline 578.30 feet to the POINT OF BEGINNING. From said POINT OF BEGINNING continue South 00 degrees 31 minutes 06 seconds West along said centerline 100.00 feet, thence South 89 degrees 28 minutes 54 seconds East 135.00 feet, thence North 00 degrees 31 minutes 06 seconds East 100.00 feet to the centerline of a 40 foot access easement, thence North 89 degrees 28 minutes 54 seconds West along said centerline 135.00 feet to the POINT OF BEGINNING; containing 0.31 acre, more or less.

The foregoing described property being subject to an access easement.

Street Address: 2021 White Ash Way  
Current Owner: Felicia Bonner

Tax ID #: 113307-000-040-0  
Original Recording: OR 1083, Page 361

FOREST GREEN

Lot 41

Commence at a concrete monument marking the Northwest corner of Section 33, Township 1 North, Range 1 East, Leon County, Florida (said concrete monument being located 21.26 feet South and 61.76 feet East of the Southeast corner of Lot 7, Block "B" of Glenwood Estates as recorded in Plat Book 2, Page 11 of the Public Records of Leon County, Florida) and run South 00 degrees 31 minutes 06 seconds West (bearing base) along the West boundary of said Section 33 a distance of 926.23 feet, thence South 89 degrees 28 minutes 54 seconds East 135.00 feet to the centerline of a 40 foot access easement, thence South 00 degrees 31 minutes 06 seconds West along said centerline 578.30 feet to the centerline of a 40 foot access easement, thence South 89 degrees 28 minutes 54 seconds East along said centerline 135.00 feet to the POINT OF BEGINNING. From said POINT OF BEGINNING continue South 89 degrees 28 minutes 54 seconds East along said centerline 105.07 feet to a point of curve to the right, thence along said centerline curve with a radius of 100.00 feet, through a central angle of 74 degrees 46 minutes 58 seconds, for an arc distance of 130.52 feet, thence South 14 degrees 41 minutes 56 seconds East along said centerline 16.03 feet to the center of a cul-de-sac with a 50 foot radius, thence South 87 degrees 31 minutes 09 seconds West 206.05 feet, thence North 00 degrees 31 minutes 06 seconds East 100.00 feet to the POINT OF BEGINNING; containing 0.40 acre, more or less.

The foregoing described property being subject to an access easement.

Street Address: 2035 White Ash Way  
Current Owners: Michael Atchison & Mary Anne Atchison  
Original Recording: OR 1083, Page 362

FOREST GREEN

Lot 42

Commence at a concrete monument marking the Northwest corner of Section 33, Township 1 North, Range 1 East, Leon County, Florida (said concrete monument being located 21.26 feet South and 61.76 feet East of the Southeast corner of Lot 7, Block "B" of Glenwood Estates as recorded in Plat Book 2, Page 11 of the Public Records of Leon County, Florida) and run South 00 degrees 31 minutes 06 seconds West (bearing base) along the West boundary of said Section 33 a distance of 926.23 feet, thence South 89 degrees 28 minutes 54 seconds East 135.00 feet to the centerline of a 40 foot access easement, thence South 00 degrees 31 minutes 06 seconds West along said centerline 678.30 feet, thence South 89 degrees 28 minutes 54 seconds East 135.00 feet to the POINT OF BEGINNING. From said POINT OF BEGINNING run North 87 degrees 31 minutes 09 seconds East 206.05 feet to the center of a cul-de-sac with a 50 foot radius, thence South 50 degrees 49 minutes 37 seconds West 267.41 feet, thence North 00 degrees 31 minutes 06 seconds East 160.00 feet to the POINT OF BEGINNING; containing 0.38 acre, more or less.

The foregoing described property being subject to an access easement and a drainage easement.

Street Address: 2053 White Ash Way  
Current Owner: Carol E. Greenwood

Tax ID #: 113307-000-042-0  
Original Recording: OR 1083, Page 363

FOREST GREEN

Lot 43

Commence at a concrete monument marking the Northwest corner of Section 33, Township 1 North, Range 1 East, Leon County, Florida (said concrete monument being located 21.26 feet South and 61.76 feet East of the Southeast corner of Lot 7, Block "B" of Glenwood Estates as recorded in Plat Book 2, Page 11 of the Public Records of Leon County, Florida) and run South 00 degrees 31 minutes 06 seconds West (bearing base) along the West boundary of said Section 33 a distance of 926.23 feet, thence South 89 degrees 28 minutes 54 seconds East 135.00 feet to the centerline of a 40 foot access easement, thence South 00 degrees 31 minutes 06 seconds West along said centerline 678.30 feet thence South 89 degrees 28 minutes 54 seconds East 135.00 feet, thence South 00 degrees 31 minutes 06 seconds West 160.00 feet to the POINT OF BEGINNING. From said POINT OF BEGINNING continue South 00 degrees 31 minutes 06 seconds West 58.18 feet to a point lying on a curve concave to the Northerly on the Northerly right of way boundary of the Seaboard Coast Line Railroad (120 foot right of way), thence from a tangent bearing of North 81 degrees 13 minutes 00 seconds East run Easterly along said right of way curve with a radius of 1798.26 feet, through a central angle of 05 degrees 24 minutes 59 seconds, for an arc distance of 170.00 feet, thence North 12 degrees 03 minutes 54 seconds East 197.60 feet to the center of a cul-de-sac with a 50 foot radius, thence South 50 degrees 49 minutes 37 seconds West 267.41 feet to the POINT OF BEGINNING; containing 0.50 acre, more or less.

The foregoing described property being subject to an access easement and a drainage easement.

Street Address: 2061 White Ash Way  
Current Owner: Jill H. Thorne

Tax ID #: 113307-000-043-0  
Original Recording: OR 1083, Page 364

FOREST GREEN

## Lot 44

Commence at a concrete monument marking the Northwest corner of Section 33, Township 1 North, Range 1 East, Leon County, Florida (said concrete monument being located 21.26 feet South and 61.76 feet East of the Southeast corner of Lot 7, Block "B" of Glenwood Estates as recorded in Plat Book 2, Page 11 of the Public Records of Leon County, Florida) and run South 00 degrees 31 minutes 06 seconds West (bearing base) along the West boundary of said Section 33 a distance of 926.23 feet, thence South 89 degrees 28 minutes 54 seconds East 135.00 feet to the centerline of a 40 foot access easement, thence South 00 degrees 31 minutes 06 seconds West along said centerline 678.30 feet, thence South 89 degrees 28 minutes 54 seconds East 135.00 feet, thence North 87 degrees 31 minutes 09 seconds 09 feet East 206.05 feet to the center of a cul-de-sac with a 50 foot radius for the POINT OF BEGINNING. From said POINT OF BEGINNING run South 12 degrees 03 minutes 54 seconds West 197.60 feet to a point lying on a curve concave to the Northerly on the Northerly right of way boundary of the Seaboard Coast Line Railroad (120 foot right of way), thence from a tangent bearing of North 75 degrees 48 minutes 01 second East run Easterly along said right of way curve with a radius of 1798.26 feet, through a central angle of 06 degrees 22 minutes 20 seconds, for an arc distance of 200.00 feet, thence North 48 degrees 13 minutes 44 seconds West 200.40 feet to the POINT OF BEGINNING; containing 0.40 acre, more or less.

The foregoing described property being subject to an access easement and a drainage easement.

Street Address: 2076 White Ash Way . . . . . Tax ID #: 113307-000-044-0  
 Current Owner: 2076 White Ash Way Trust . . . . . Original Recording: OR 1083, Page 365 . . . . .  
 Mailing Address: 2400 Cesar Chaves St. #208, Austin TX 78702

FOREST GREEN

## Lot 45

Commence at a concrete monument marking the Northwest corner of Section 33, Township 1 North, Range 1 East, Leon County, Florida (said concrete monument being located 21.26 feet South and 61.76 feet East of the Southeast corner of Lot 7, Block "B" of Glenwood Estates as recorded in Plat Book 2, Page 11 of the Public Records of Leon County, Florida) and run South 00 degrees 31 minutes 06 seconds West (bearing base) along the West boundary of said Section 33 a distance of 926.23 feet, thence South 89 degrees 28 minutes 54 seconds East 135.00 feet to the centerline of a 40 foot access easement, thence South 00 degrees 31 minutes 06 seconds West along said centerline 678.30 feet, thence South 89 degrees 28 minutes 54 seconds East 135.00 feet, thence North 87 degrees 31 minutes 09 seconds 09 feet East 206.05 feet to the center of a cul-de-sac with a 50 foot radius for the POINT OF BEGINNING. From said POINT OF BEGINNING run South 89 degrees 15 minutes 49 seconds East 202.77 feet, thence South 00 degrees 06 minutes 06 seconds West 110.00 feet to a concrete monument lying on a curve concave to the Northerly on the Northerly right of way boundary of the Seaboard Coast Line Railroad (120 foot right of way), thence from a tangent bearing of South 67 degrees 36 minutes 36 seconds West run Westerly along said right of way curve with a radius of 1798.26 feet, through a central angle of 01 degrees 49 minutes 05 seconds, for an arc distance of 57.06 feet, thence North 48 degrees 13 minutes 44 seconds West 200.40 feet to the POINT OF BEGINNING; containing 0.37 acre, more or less.

The foregoing described property being subject to an access easement.

Also, the Easterly 15 feet and the Southeasterly 20 feet of the foregoing described property being subject to a drainage easement.

Street Address: 2068 White Ash Way  
 Current Owner: Meghan G. Watson

Tax ID #: 113307-000-045-0  
 Original Recording: OR 1083, Page 366

FOREST GREEN

## Lot 46

Commence at a concrete monument marking the Northwest corner of Section 33, Township 1 North, Range 1 East, Leon County, Florida (said concrete monument being located 21.26 feet South and 61.76 feet East of the Southeast corner of Lot 7, Block "B" of Glenwood Estates as recorded in Plat Book 2, Page 11 of the Public Records of Leon County, Florida) and run South 00 degrees 31 minutes 06 seconds West (bearing base) along the West boundary of said Section 33 a distance of 926.23 feet, thence South 89 degrees 28 minutes 54 seconds East 135.00 feet to the centerline of a 40 foot access easement, thence South 00 degrees 31 minutes 06 seconds West along said centerline 678.30 feet, thence South 89 degrees 28 minutes 54 seconds East 135.00 feet, thence North 87 degrees 31 minutes 09 seconds East 206.05 feet to the center of a cul-de-sac with a 50 foot radius for the POINT OF BEGINNING. From said POINT OF BEGINNING run North 14 degrees 41 minutes 56 seconds West along the centerline of a 40 foot access easement 16.03 feet to a point of curve to the left, thence along said centerline curve with a radius of 100.00 feet, through a central angle of 11 degrees 09 minutes 43 seconds, for an arc distance of 19.49 feet, thence North 64 degrees 08 minutes 21 seconds East 237.61 feet, thence South 00 degrees 06 minutes 06 seconds West 140.00 feet, thence North 89 degrees 15 minutes 49 seconds West 202.77 feet to the POINT OF BEGINNING; containing 0.42 acre, more or less.

The foregoing described property being subject to an access easement.

Also, the Easterly 15 feet of the foregoing described property being subject to a drainage easement.

Street Address: 2060 White Ash Way Tax ID #: Confidential Parcel  
 Current Owner: Exempt per Florida Statute 119.071 Original Recording: OR 1083, Page 367

FOREST GREEN

## Lot 47

Commence at a concrete monument marking the Northwest corner of Section 33, Township 1 North, Range 1 East, Leon County, Florida (said concrete monument being located 21.26 feet South and 61.76 feet East of the Southeast corner of Lot 7, Block "B" of Glenwood Estates as recorded in Plat Book 2, Page 11 of the Public Records of Leon County, Florida) and run South 00 degrees 31 minutes 06 seconds West (bearing base) along the West boundary of said Section 33 a distance of 926.23 feet, thence South 89 degrees 28 minutes 54 seconds East 135.00 feet to the centerline of a 40 foot access easement, thence South 00 degrees 31 minutes 06 seconds West along said centerline 443.30 feet, thence South 89 degrees 28 minutes 54 seconds East 445.00 feet to the POINT OF BEGINNING. From said POINT OF BEGINNING continue South 89 degrees 28 minutes 54 seconds East 96.90 feet, thence South 00 degrees 06 minutes 06 seconds West 85.00 feet, thence South 64 degrees 08 minutes 21 seconds West 237.61 feet to a point lying on a curve concave to the Southwesterly on the centerline of a 40 foot access easement, thence from a tangent bearing of North 25 degrees 51 minutes 39 seconds West run Northwesterly along said centerline curve with a radius of 100.00 feet, through a central angle of 22 degrees 31 minutes 51 seconds, for an arc distance of 39.32 feet, thence North 41 degrees 36 minutes 30 seconds East 211.80 feet to the POINT OF BEGINNING; containing 0.51 acre, more or less.

The foregoing described property being subject to an access easement.

Also, the Easterly 15 feet of the foregoing described property being subject to a drainage easement.

Street Address: 2052 White Ash Way Tax ID #: 113307-000-047-0  
 Current Owners: Robert J. Kugler & Pamela J. Kugler  
 Original Recording: OR 1083, Page 368

FOREST GREEN

Lot 48

Commence at a concrete monument marking the Northwest corner of Section 33, Township 1 North, Range 1 East, Leon County, Florida (said concrete monument being located 21.26 feet South and 61.76 feet East of the Southeast corner of Lot 7, Block "B" of Glenwood Estates as recorded in Plat Book 2, Page 11 of the Public Records of Leon County, Florida) and run South 00 degrees 31 minutes 06 seconds West (bearing base) along the West boundary of said Section 33 a distance of 926.23 feet, thence South 89 degrees 28 minutes 54 seconds East 135.00 feet to the centerline of a 40 foot access easement, thence South 00 degrees 31 minutes 06 seconds West along said centerline 443.30 feet, thence South 89 degrees 28 minutes 54 seconds East 295.00 feet to the POINT OF BEGINNING. From said POINT OF BEGINNING continue South 89 degrees 28 minutes 54 seconds East 150.00 feet, thence South 41 degrees 36 minutes 30 seconds West 211.80 feet to a point lying on a curve concave to the Southwesterly on a centerline of a 40 foot access easement, thence from a tangent bearing of North 48 degrees 23 minutes 30 seconds West run Northwesterly along said centerline curve with a radius of 100.00 feet, through a central angle of 27 degrees 55 minutes 59 seconds for an arc distance of 48.75 feet, thence North 13 degrees 40 minutes 31 seconds East 141.33 feet to the POINT OF BEGINNING; containing 0.35 acre, more or less.

The Southwesterly 20 feet of the foregoing described property being subject to an access easement.

Street Address: 2044 White Ash Way  
Current Owner: Kelly A. Leffler

Tax ID #: 113307-000-048-0  
Original Recording: OR 1083, Page 369

FOREST GREEN

Lot 49

Commence at a concrete monument marking the Northwest corner of Section 33, Township 1 North, Range 1 East, Leon County, Florida (said concrete monument being located 21.26 feet South and 61.76 feet East of the Southeast corner of Lot 7, Block "B" of Glenwood Estates as recorded in Plat Book 2, Page 11 of the Public Records of Leon County, Florida) and run South 00 degrees 31 minutes 06 seconds West (bearing base) along the West boundary of said Section 33 a distance of 926.23 feet, thence South 89 degrees 28 minutes 54 seconds East 135.00 feet to the centerline of a 40 foot access easement, thence South 00 degrees 31 minutes 06 seconds West along said centerline 443.30 feet, thence South 89 degrees 28 minutes 54 seconds East 190.00 feet to the POINT OF BEGINNING. From said POINT OF BEGINNING run South 00 degrees 31 minutes 06 seconds West 135.00 feet to the centerline of a 40 foot access easement, thence South 89 degrees 28 minutes 54 seconds East along said centerline 50.07 feet to a point of curve to the right, thence along said centerline curve with a radius of 100.00 feet, through a central angle of 13 degrees 09 minutes 25 seconds, for an arc distance of 22.96 feet, thence North 13 degrees 40 minutes 31 seconds East 141.33 feet, thence North 89 degrees 28 minutes 54 seconds West 105.00 feet to the POINT OF BEGINNING; containing 0.28 acre, more or less.

The Southerly 20 feet of the foregoing described property being subject to an access easement.

Street Address: 2036 White Ash Way  
Current Owner: Jana L. Miller

Tax ID #: 113307-000-049-0  
Original Recording: OR 1083, Page 370

FOREST GREEN

Lot 50

Commence at a concrete monument marking the Northwest corner of Section 33, Township 1 North, Range 1 East, Leon County, Florida (said concrete monument being located 21.26 feet South and 61.76 feet East of the Southeast corner of Lot 7, Block "B" of Glenwood Estates as recorded in Plat Book 2, Page 11 of the Public Records of Leon County, Florida) and run South 00 degrees 31 minutes 06 seconds West (bearing base) along the West boundary of said Section 33 a distance of 926.23 feet, thence South 89 degrees 28 minutes 54 seconds East 135.00 feet to the centerline of a 40 foot access easement, thence South 00 degrees 31 minutes 06 seconds West along said centerline 443.30 feet, thence South 89 degrees 28 minutes 54 seconds East 100.00 feet to the POINT OF BEGINNING. From said POINT OF BEGINNING continue South 89 degrees 28 minutes 54 seconds East 90.00 feet, thence South 00 degrees 31 minutes 06 seconds West 135.00 feet to the centerline of a 40 foot access easement, thence North 89 degrees 28 minutes 54 seconds West along said centerline 90.00 feet, thence North 00 degrees 31 minutes 06 seconds East 135.00 feet to the POINT OF BEGINNING; containing 0.28 acre, more or less.

The Southerly 20 feet of the foregoing described property being subject to an access easement.

Street Address: 2028 White Ash Way  
Current Owner: Will D. Blickenderfer

Tax ID #: 113307-000-050-0  
Original Recording: OR 1083, Page 371

FOREST GREEN

Lot 51

Commence at a concrete monument marking the Northwest corner of Section 33, Township 1 North, Range 1 East, Leon County, Florida (said concrete monument being located 21.26 feet South and 61.76 feet East of the Southeast corner of Lot 7, Block "B" of Glenwood Estates as recorded in Plat Book 2, Page 11 of the Public Records of Leon County, Florida) and run South 00 degrees 31 minutes 06 seconds West (bearing base) along the West boundary of said Section 33 a distance of 926.23 feet, thence South 89 degrees 28 minutes 54 seconds East 135.00 feet to the centerline of a 40 foot access easement, thence South 00 degrees 31 minutes 06 seconds West along said centerline 443.30 feet to the POINT OF BEGINNING. From said POINT OF BEGINNING continue South 00 degrees 31 minutes 06 seconds West along said centerline 135.00 feet to the centerline of a 40 foot access easement, thence South 89 degrees 28 minutes 54 seconds East along said centerline 100.00 feet, thence North 00 degrees 31 minutes 06 seconds East 135.00 feet, thence North 89 degrees 28 minutes 54 seconds West 100.00 feet to the POINT OF BEGINNING; containing 0.31 acre, more or less.

The foregoing described property being subject to an access easement.

Street Address: 2020 White Ash Way  
Current Owner: Theresa M. Skidmore

Tax ID #: 113307-000-051-0  
Original Recording: OR 1083, Page 372

FOREST GREEN

Lot 52

Commence at a concrete monument marking the Northwest corner of Section 33, Township 1 North, Range 1 East, Leon County, Florida (said concrete monument being located 21.26 feet South and 61.76 feet East of the Southeast corner of Lot 7, Block "B" of Glenwood Estates as recorded in Plat Book 2, Page 11 of the Public Records of Leon County, Florida) and run South 00 degrees 31 minutes 06 seconds West (bearing base) along the West boundary of said Section 33 a distance of 926.23 feet, thence South 89 degrees 28 minutes 54 seconds East 135.00 feet to the centerline of a 40 foot access easement, thence South 00 degrees 31 minutes 06 seconds West along said centerline 308.30 feet to the POINT OF BEGINNING. From said POINT OF BEGINNING continue South 00 degrees 31 minutes 06 seconds West along said centerline 135.00 feet, thence South 89 degrees 28 minutes 54 seconds East 100.00 feet, thence North 00 degrees 31 minutes 06 seconds East 135.00 feet to the centerline of a 40 foot access easement, thence North 89 degrees 28 minutes 54 seconds West along said centerline 100.00 feet to the POINT OF BEGINNING; containing 0.31 acre, more or less.

The foregoing described property being subject to an access easement.

Street Address: 2011 Sugar Maple Court Tax ID #: 113307-000-052-0  
 Current Owners: Robert E. Goddard & L.B. Goddard Original Recording: OR 1083, Page 373

FOREST GREEN

Lot 53

Commence at a concrete monument marking the Northwest corner of Section 33, Township 1 North, Range 1 East, Leon County, Florida (said concrete monument being located 21.26 feet South and 61.76 feet East of the Southeast corner of Lot 7, Block "B" of Glenwood Estates as recorded in Plat Book 2, Page 11 of the Public Records of Leon County, Florida) and run South 00 degrees 31 minutes 06 seconds West (bearing base) along the West boundary of said Section 33 a distance of 926.23 feet, thence South 89 degrees 28 minutes 54 seconds East 135.00 feet to the centerline of a 40 foot access easement, thence South 00 degrees 31 minutes 06 seconds West along said centerline 308.30 feet to the centerline of a 40 foot access easement, thence South 89 degrees 28 minutes 54 seconds East along said centerline 100.00 feet to the POINT OF BEGINNING. From said POINT OF BEGINNING continue South 89 degrees 28 minutes 54 seconds East along said centerline 90.00 feet, thence South 00 degrees 31 minutes 06 seconds West 135.00 feet, thence North 89 degrees 28 minutes 54 seconds West 90.00 feet, thence North 00 degrees 31 minutes 06 seconds East 135.00 feet to the POINT OF BEGINNING; containing 0.28 acre, more or less.

The Northerly 20 feet of the foregoing described property being subject to an access easement.

Street Address: 2019 Sugar Maple Court Tax ID #: 113307-000-053-0  
 Current Owners: Steven Charles Smith & Patricia Ann Smith  
 Original Recording: OR 1083, Page 374  
 Mailing Address: 5890 Cherokee Rd., Milton, FL 32570

FOREST GREEN

Lot 54

Commence at a concrete monument marking the Northwest corner of Section 33, Township 1 North, Range 1 East, Leon County, Florida (said concrete monument being located 21.26 feet South and 61.76 feet East of the Southeast corner of Lot 7, Block "B" of Glenwood Estates as recorded in Plat Book 2, Page 11 of the Public Records of Leon County, Florida) and run South 00 degrees 31 minutes 06 seconds West (bearing base) along the West boundary of said Section 33 a distance of 926.23 feet, thence South 89 degrees 28 minutes 54 seconds East 135.00 feet to the centerline of a 40 foot access easement, thence South 00 degrees 31 minutes 06 seconds West along said centerline 308.30 feet to the centerline of a 40 foot access easement, thence South 89 degrees 28 minutes 54 seconds East along said centerline 190.00 feet to the POINT OF BEGINNING. From said POINT OF BEGINNING continue South 89 degrees 28 minutes 54 seconds East along said centerline 90.00 feet, thence South 00 degrees 31 minutes 06 seconds West 135.00 feet, thence North 89 degrees 28 minutes 54 seconds West 90.00 feet, thence North 00 degrees 31 minutes 06 seconds East 135.00 feet to the POINT OF BEGINNING; containing 0.28 acre, more or less.

The Northerly 20 feet of the foregoing described property being subject to an access easement.

Street Address: 2027 Sugar Maple Court

Tax ID #: 113307-000-054-0

Current Owner: Mary E. Mockbee

Original Recording: OR 1083, Page 375

FOREST GREEN

Lot 55

Commence at a concrete monument marking the Northwest corner of Section 33, Township 1 North, Range 1 East, Leon County, Florida (said concrete monument being located 21.26 feet South and 61.76 feet East of the Southeast corner of Lot 7, Block "B" of Glenwood Estates as recorded in Plat Book 2, Page 11 of the Public Records of Leon County, Florida) and run South 00 degrees 31 minutes 06 seconds West (bearing base) along the West boundary of said Section 33 a distance of 926.23 feet, thence South 89 degrees 28 minutes 54 seconds East 135.00 feet to the centerline of a 40 foot access easement, thence South 00 degrees 31 minutes 06 seconds West along said centerline 308.30 feet to the centerline of a 40 foot access easement, thence South 89 degrees 28 minutes 54 seconds East along said centerline 280.00 feet to the POINT OF BEGINNING. From said POINT OF BEGINNING continue South 89 degrees 28 minutes 54 seconds East along said centerline 90.00 feet to the center of a cul-de-sac with a 50 foot radius, thence South 00 degrees 31 minutes 06 seconds West 135.00 feet, thence North 89 degrees 28 minutes 54 seconds West 90.00 feet, thence North 00 degrees 31 minutes 06 seconds East 135.00 feet to the POINT OF BEGINNING; containing 0.28 acre, more or less.

The foregoing described property being subject to an access easement.

Street Address: 2035 Sugar Maple Court

Tax ID #: 113307-000-055-0

Current Owner: Victoria S. Shackleford

Original Recording: OR 1083, Page 376

FOREST GREEN

## Lot 56

Commence at a concrete monument marking the Northwest corner of Section 33, Township 1 North, Range 1 East, Leon County, Florida (said concrete monument being located 21.26 feet South and 61.76 feet East of the Southeast corner of Lot 7, Block "B" of Glenwood Estates as recorded in Plat Book 2, Page 11 of the Public Records of Leon County, Florida) and run South 00 degrees 31 minutes 06 seconds West (bearing base) along the West boundary of said Section 33 a distance of 926.23 feet, thence South 89 degrees 28 minutes 54 seconds East 135.00 feet to the centerline of a 40 foot access easement, thence South 00 degrees 31 minutes 06 seconds West along said centerline 308.30 feet to the centerline of a 40 foot access easement, thence South 89 degrees 28 minutes 54 seconds East along said centerline 370.00 feet to the center of a cul-de-sac with a 50 foot radius for the POINT OF BEGINNING. From said POINT OF BEGINNING run South 00 degrees 31 minutes 06 seconds West 135.00 feet, thence South 89 degrees 28 minutes 54 seconds East 171.90 feet, thence North 00 degrees 06 minutes 06 seconds East 40.00 feet, thence North 60 degrees 30 minutes 49 seconds West 196.15 feet to the POINT OF BEGINNING; containing 0.34 acre, more or less.

The foregoing described property being subject to an access easement and a drainage easement.

Street Address: 2043 Sugar Maple Court Tax ID #: 113307-000-056-0  
 Current Owners: Donald M. Draughon & Vicki A. Draughon  
 Original Recording: OR 1083, Page 377

FOREST GREEN

## Lot 57

Commence at a concrete monument marking the Northwest corner of Section 33, Township 1 North, Range 1 East, Leon County, Florida (said concrete monument being located 21.26 feet South and 61.76 feet East of the Southeast corner of Lot 7, Block "B" of Glenwood Estates as recorded in Plat Book 2, Page 11 of the Public Records of Leon County, Florida) and run South 00 degrees 31 minutes 06 seconds West (bearing base) along the West boundary of said Section 33 a distance of 926.23 feet, thence South 89 degrees 28 minutes 54 seconds East 135.00 feet to the centerline of a 40 foot access easement, thence South 00 degrees 31 minutes 06 seconds West along said centerline 308.30 feet to the centerline of a 40 foot access easement, thence South 89 degrees 28 minutes 54 seconds East along said centerline 370.00 feet to the center of a cul-de-sac with a 50 foot radius for the POINT OF BEGINNING. From said POINT OF BEGINNING run South 60 degrees 30 minutes 49 seconds East 196.15 feet, thence North 00 degrees 06 minutes 06 seconds East 190.00 feet, thence South 61 degrees 21 minutes 13 seconds West 194.94 feet to the POINT OF BEGINNING; containing 0.37 acre, more or less.

The foregoing described property being subject to an access easement and a drainage easement.

Street Address: 2050 Sugar Maple Court Tax ID #: 113307-000-057-0  
 Current Owner: Connie Lynn Hall Original Recording: OR 1083, Page 378

FOREST GREEN

## Lot 58 and Addition

Commence at a concrete monument marking the Northwest corner of Section 33, Township 1 North, Range 1 East, Leon County, Florida (said concrete monument being located 21.26 feet South and 61.76 feet East of the Southeast corner of Lot 7, Block "B" of Glenwood Estates as recorded in Plat Book 2, Page 11 of the Public Records of Leon County, Florida) and run South 00 degrees 31 minutes 06 seconds West (bearing base) along the West boundary of said Section 33 a distance of 926.23 feet, thence South 89 degrees 28 minutes 54 seconds East 135.00 feet to the centerline of a 40 foot access easement, thence South 00 degrees 31 minutes 06 seconds West along said centerline 308.30 feet to the centerline of a 40 foot access easement, thence South 89 degrees 28 minutes 54 seconds East along said centerline 370.00 feet to the center of a cul-de-sac with a 50 foot radius for the POINT OF BEGINNING. From said POINT OF BEGINNING run North 61 degrees 21 minutes 13 seconds East 194.94 feet, thence North 00 degrees 06 minutes 06 seconds East 40.00 feet, thence North 89 degrees 28 minutes 54 seconds West 169.94 feet, thence South 00 degrees 31 minutes 06 seconds West 135.00 feet to the POINT OF BEGINNING; containing 0.34 acre, more or less.

The foregoing described property being subject to an access easement.

Also, the Easterly 15 feet of the foregoing described property being subject to a drainage easement.

AND Addition to Lot 58

Commence at a concrete monument marking the Northwest corner of Section 33, Township 1 North, Range 1 East, Leon County, Florida (said concrete monument being located 21.26 feet South and 61.76 feet East of the Southeast corner of Lot 7, Block "B" of Glenwood Estates as recorded in Plat Book 2, Page 11 of the Public Records of Leon County, Florida) and run South 00 degrees 31 minutes 06 seconds West (bearing base) along the West boundary of said Section 33 a distance of 926.23 feet, thence South 89 degrees 28 minutes 54 seconds East 135.00 feet to the centerline of a 40 foot access easement, thence South 00 degrees 31 minutes 06 seconds West along said centerline 308.30 feet to the centerline of a 40 foot access easement, thence South 89 degrees 28 minutes 54 seconds East along said centerline 370.00 feet to the center of a cul-de-sac with a 50 foot radius for the POINT OF BEGINNING. From said POINT OF BEGINNING run North 00 degrees 31 minutes 06 seconds East 50.00 feet to a concrete monument, thence South 30 degrees 18 minutes 53 seconds West 21.40 feet to an iron pin, thence South 18 degrees 10 minutes 26 seconds East 33.18 feet to the POINT OF BEGINNING, containing 266 square feet.

The foregoing described property being subject to an access easement.

Street Address: 2042 Sugar Maple Court Tax ID #: 113307-000-058-0

Current Owners: Christopher Michael Abraham & Carla Mason Burke

Original Recording: OR 1083, Page 379; Addition first recorded at OR 1180, Page 262

FOREST GREEN

## Lot 59 - Revised

Commence at a concrete monument marking the Northwest corner of Section 33, Township 1 North, Range 1 East, Leon County, Florida (said concrete monument being located 21.26 feet South and 61.76 feet East of the Southeast corner of Lot 7, Block "B" of Glenwood Estates as recorded in Plat Book 2, Page 11 of the Public Records of Leon County, Florida) and run South 00 degrees 31 minutes 06 seconds West (bearing base) along the West boundary of said Section 33 a distance of 926.23 feet, thence South 89 degrees 28 minutes 54 seconds East 135.00 feet to the centerline of a 40 foot access easement, thence South 00 degrees 31 minutes 06 seconds West along said centerline 308.30 feet to the centerline of a 40 foot access easement, thence South 89 degrees 28 minutes 54 seconds East along said centerline 280.00 feet to the POINT OF BEGINNING. From said POINT OF BEGINNING continue South 89 degrees 28 minutes 54 seconds East along said centerline 90.00 feet to the center of a cul-de-sac with a 50 foot radius, thence North 18 degrees 10 minutes 26 seconds West 33.18 feet, thence North 30 degrees 18 minutes 53 seconds East 21.40 feet, thence North 00 degrees 31 minutes 06 seconds East 85.00 feet, thence North 89 degrees 28 minutes 54 seconds West 90.00 feet, thence South 00 degrees 31 minutes 06 seconds West 135.00 feet to the POINT OF BEGINNING; containing 0.28 acre, more or less.

The foregoing described property being subject to an access easement.

Street Address: 2034 Sugar Maple Court Tax ID #: 113307-000-059-0

Current Owners: Todd A. Sharpe & Susan M. Sharpe

Original Recording: OR 1083, Page 380; Revised as metes & bounds without Lot 59 reference first recorded (deed) at OR 3167, Page 793; Revised as "Portion of Lot 59" first recorded (certificate of title) at OR 4318, Page 1439

FOREST GREEN

## Lot 60

Commence at a concrete monument marking the Northwest corner of Section 33, Township 1 North, Range 1 East, Leon County, Florida (said concrete monument being located 21.26 feet South and 61.76 feet East of the Southeast corner of Lot 7, Block "B" of Glenwood Estates as recorded in Plat Book 2, Page 11 of the Public Records of Leon County, Florida) and run South 00 degrees 31 minutes 06 seconds West (bearing base) along the West boundary of said Section 33 a distance of 926.23 feet, thence South 89 degrees 28 minutes 54 seconds East 135.00 feet to the centerline of a 40 foot access easement, thence South 00 degrees 31 minutes 06 seconds West along said centerline 308.30 feet to the centerline of a 40 foot access easement, thence South 89 degrees 28 minutes 54 seconds East along said centerline 190.00 feet to the POINT OF BEGINNING. From said POINT OF BEGINNING continue South 89 degrees 28 minutes 54 seconds East along said centerline 90.00 feet, thence North 00 degrees 31 minutes 06 seconds East 135.00 feet, thence North 89 degrees 28 minutes 54 seconds West 90.00 feet, thence South 00 degrees 31 minutes 06 seconds West 135.00 feet to the POINT OF BEGINNING; containing 0.28 acre, more or less.

The Southerly 20 feet of the foregoing described property being subject to an access easement.

Street Address: 2026 Sugar Maple Court

Tax ID #: 113307-000-060-0

Current Owner: Allison B. Taylor

Original Recording: OR 1083, Page 381

FOREST GREEN

Lot 61

Commence at a concrete monument marking the Northwest corner of Section 33, Township 1 North, Range 1 East, Leon County, Florida (said concrete monument being located 21.26 feet South and 61.76 feet East of the Southeast corner of Lot 7, Block "B" of Glenwood Estates as recorded in Plat Book 2, Page 11 of the Public Records of Leon County, Florida) and run South 00 degrees 31 minutes 06 seconds West (bearing base) along the West boundary of said Section 33 a distance of 926.23 feet, thence South 89 degrees 28 minutes 54 seconds East 135.00 feet to the centerline of a 40 foot access easement, thence South 00 degrees 31 minutes 06 seconds West along said centerline 173.30 feet to the POINT OF BEGINNING. From said POINT OF BEGINNING continue South 00 degrees 31 minutes 06 seconds West along said centerline 135.00 feet to the centerline of a 40 foot access easement, thence South 89 degrees 28 minutes 54 seconds East along said centerline 190.00 feet, thence North 00 degrees 31 minutes 06 seconds East 135.00 feet, thence North 89 degrees 28 minutes 54 seconds West 190.00 feet to the POINT OF BEGINNING; containing 0.59 acre, more or less.

The foregoing described property being subject to an access easement.

Street Address:	485 Forest Green Drive	Tax ID #:	113307-000-061-0
Current Owner:	Emily K. Kohler	Original Recording:	OR 1083, Page 382
Mailing Address:	2005 Trescott Dr., Tallahassee, FL 32308		

FOREST GREEN

Lot 62

Commence at a concrete monument marking the Northwest corner of Section 33, Township 1 North, Range 1 East, Leon County, Florida (said concrete monument being located 21.26 feet South and 61.76 feet East of the Southeast corner of Lot 7, Block "B" of Glenwood Estates as recorded in Plat Book 2, Page 11 of the Public Records of Leon County, Florida) and run South 00 degrees 31 minutes 06 seconds West (bearing base) along the West boundary of said Section 33 a distance of 926.23 feet, thence South 89 degrees 28 minutes 54 seconds East 135.00 feet to the centerline of a 40 foot access easement, thence South 00 degrees 31 minutes 06 seconds West along said centerline 38.30 feet to the POINT OF BEGINNING. From said POINT OF BEGINNING continue South 00 degrees 31 minutes 06 seconds West along said centerline 135.00 feet, thence South 89 degrees 28 minutes 54 seconds East 100.00 feet, thence North 00 degrees 31 minutes 06 seconds East 135.00 feet to the center of a 40 foot access easement, thence North 89 degrees 28 minutes 54 seconds West along said centerline 100.00 feet to the POINT OF BEGINNING; containing 0.31 acre, more or less.

The foregoing described property being subject to an access easement.

Street Address:	2007 Gray Birch Way	Tax ID #:	113307-000-062-0
Current Owner:	Nicole Renee Beach	Original Recording:	OR 1083, Page 383

FOREST GREEN

Lot 63

Commence at a concrete monument marking the Northwest corner of Section 33, Township 1 North, Range 1 East, Leon County, Florida (said concrete monument being located 21.26 feet South and 61.76 feet East of the Southeast corner of Lot 7, Block "B" of Glenwood Estates as recorded in Plat Book 2, Page 11 of the Public Records of Leon County, Florida) and run South 00 degrees 31 minutes 06 seconds West (bearing base) along the West boundary of said Section 33 a distance of 926.23 feet, thence South 89 degrees 28 minutes 54 seconds East 135.00 feet to the centerline of a 40 foot access easement, thence South 00 degrees 31 minutes 06 seconds West along said centerline 38.30 feet to the centerline of a 40 foot access easement, thence South 89 degrees 28 minutes 54 seconds East along said centerline 100.00 feet to the POINT OF BEGINNING. From said POINT OF BEGINNING continue South 89 degrees 28 minutes 54 seconds East along said centerline 90.00 feet, thence South 00 degrees 31 minutes 06 seconds West 135.00 feet, thence North 89 degrees 28 minutes 54 seconds West 90.00 feet, thence North 00 degrees 31 minutes 06 seconds East 135.00 feet to the POINT OF BEGINNING; containing 0.28 acre, more or less.

The Northerly 20 feet of the foregoing described property being subject to an access easement.

Street Address: 2015 Gray Birch Way

Tax ID #: 113307-000-063-0

Current Owner: Melissa E. Nyborg

Original Recording: OR 1083, Page 384

FOREST GREEN

Lot 64

Commence at a concrete monument marking the Northwest corner of Section 33, Township 1 North, Range 1 East, Leon County, Florida (said concrete monument being located 21.26 feet South and 61.76 feet East of the Southeast corner of Lot 7, Block "B" of Glenwood Estates as recorded in Plat Book 2, Page 11 of the Public Records of Leon County, Florida) and run South 00 degrees 31 minutes 06 seconds West (bearing base) along the West boundary of said Section 33 a distance of 926.23 feet, thence South 89 degrees 28 minutes 54 seconds East 135.00 feet to the centerline of a 40 foot access easement, thence South 00 degrees 31 minutes 06 seconds West along said centerline 38.30 feet to the centerline of a 40 foot access easement, thence South 89 degrees 28 minutes 54 seconds East along said centerline 190.00 feet to the POINT OF BEGINNING. From said POINT OF BEGINNING continue South 89 degrees 28 minutes 54 seconds East along said centerline 90.00 feet, thence South 00 degrees 31 minutes 06 seconds West 135.00 feet, thence North 89 degrees 28 minutes 54 seconds West 90.00 feet, thence North 00 degrees 31 minutes 06 seconds East 135.00 feet to the POINT OF BEGINNING; containing 0.28 acre, more or less.

The Northerly 20 feet of the foregoing described property being subject to an access easement.

Street Address: 2023 Gray Birch Way

Tax ID #: 113307-000-064-0

Current Owners:

Christopher Sands &amp; Valerie Sands

Original Recording: OR 1083, Page 385

FOREST GREEN

Lot 65

Commence at a concrete monument marking the Northwest corner of Section 33, Township 1 North, Range 1 East, Leon County, Florida (said concrete monument being located 21.26 feet South and 61.76 feet East of the Southeast corner of Lot 7, Block "B" of Glenwood Estates as recorded in Plat Book 2, Page 11 of the Public Records of Leon County, Florida) and run South 00 degrees 31 minutes 06 seconds West (bearing base) along the West boundary of said Section 33 a distance of 926.23 feet, thence South 89 degrees 28 minutes 54 seconds East 135.00 feet to the centerline of a 40 foot access easement, thence South 00 degrees 31 minutes 06 seconds West along said centerline 38.30 feet to the centerline of a 40 foot access easement, thence South 89 degrees 28 minutes 511 seconds East along said centerline 280.00 feet to the POINT OF BEGINNING. From said POINT OF BEGINNING continue South 89 degrees 28 minutes 54 seconds East along said centerline 90.00 feet to the center of a cul-de-sac with a 50 foot radius, thence South 00 degrees 31 minutes 06 seconds West 135.00 feet, thence North 89 degrees 28 minutes 54 seconds West 90.00 feet, thence North 00 degrees 31 minutes 06 seconds East 135.00 feet to the POINT OF BEGINNING; containing 0.28 acre, more or less.

The foregoing described property being subject to an access easement.

Street Address: 2033 Gray Birch Way Tax ID #: 113307-000-065-0  
 Current Owners: Charles Greenwell & Cynthia Zearly Greenwell  
 Original Recording: OR 1083, Page 386

FOREST GREEN

Lot 66

Commence at a concrete monument marking the Northwest corner of Section 33, Township 1 North, Range 1 East, Leon County, Florida (said concrete monument being located 21.26 feet South and 61.76 feet East of the Southeast corner of Lot 7, Block "B" of Glenwood Estates as recorded in Plat Book 2, Page 11 of the Public Records of Leon County, Florida) and run South 00 degrees 31 minutes 06 seconds West (bearing base) along the West boundary of said Section 33 a distance of 926.23 feet, thence South 89 degrees 28 minutes 54 seconds East 135.00 feet to the centerline of a 40 foot access easement, thence South 00 degrees 31 minutes 06 seconds West along said centerline 38.30 feet to the centerline of a 40 foot access easement, thence South 89 degrees 28 minutes 54 seconds East along said centerline 370.00 feet to the center of a cul-de-sac with a 50 foot radius for the POINT OF BEGINNING. From said POINT OF BEGINNING run South 00 degrees 31 minutes 06 seconds West 135.00 feet, thence South 89 degrees 28 minutes 54 seconds East 169.94 feet, thence North 00 degrees 06 minutes 06 seconds East 40.00 feet, thence North 60 degrees 14 minutes 00 seconds West 194.44 feet to the POINT OF BEGINNING; containing 0.34 acre, more or less.

The foregoing described property being subject to an access easement and a drainage easement.

Street Address: 2041 Gray Birch Way Tax ID #: 113307-000-066-0  
 Current Owner: Alice K. Lammert Original Recording: OR 1083, Page 387

FOREST GREEN

Lot 67

Commence at a concrete monument marking the Northwest corner of Section 33, Township 1 North, Range 1 East, Leon County, Florida (said concrete monument being located 21.26 feet South and 61.76 feet East of the Southeast corner of Lot 7, Block "B" of Glenwood Estates as recorded in Plat Book 2, Page 11 of the Public Records of Leon County, Florida) and run South 00 degrees 31 minutes 06 seconds West (bearing base) along the West boundary of said Section 33 a distance of 926.23 feet, thence South 89 degrees 28 minutes 54 seconds East 135.00 feet to the centerline of a 40 foot access easement, thence South 00 degrees 31 minutes 06 seconds West along said centerline 38.30 feet to the centerline of a 40 foot access easement, thence South 89 degrees 28 minutes 54 seconds East along said centerline 370.00 feet to the center of a cul-de-sac with a 50 foot radius for the POINT OF BEGINNING. From said POINT OF BEGINNING run South 60 degrees 14 minutes 00 seconds East 194.44 feet, thence North 00 degrees 06 minutes 06 seconds East 190.36 feet, thence South 60 degrees 58 minutes 41 seconds West 193.41 feet to the POINT OF BEGINNING; containing 0.37 acre, more or less.

The foregoing described property being subject to an access easement and a drainage easement.

Street Address: 2048 Gray Birch Way  
Current Owner: Zachary Joel Michael

Tax ID #: 113307-000-067-0  
Original Recording: OR 1083, Page 388

FOREST GREEN

Lot 68

Commence at a concrete monument marking the Northwest corner of Section 33, Township 1 North, Range 1 East, Leon County, Florida (said concrete monument being located 21.26 feet South and 61.76 feet East of the Southeast corner of Lot 7, Block "B" of Glenwood Estates as recorded in Plat Book 2, Page 11 of the Public Records of Leon County, Florida) and run South 00 degrees 31 minutes 06 seconds West (bearing base) along the West boundary of said Section 33 a distance of 926.23 feet, thence South 89 degrees 28 minutes 54 seconds East 135.00 feet to the centerline of a 40 foot access easement, thence South 00 degrees 31 minutes 06 seconds West along said centerline 38.30 feet to the centerline of a 40 foot access easement, thence South 89 degrees 28 minutes 54 seconds East along said centerline 370.00 feet to the center of a cul-de-sac with a 50 foot radius for the POINT OF BEGINNING. From said POINT OF BEGINNING run North 60 degrees 58 minutes 41 seconds East 193.41 feet, thence North 00 degrees 06 minutes 06 seconds East 40.00 feet to a concrete monument, thence North 89 degrees 31 minutes 13 seconds West 167.97 feet, thence South 00 degrees 31 minutes 06 seconds West 135.24 feet to the POINT OF BEGINNING; containing 0.34 acre, more or less.

The foregoing described property being subject to an access easement.

Also, the Easterly 15 feet of the foregoing described property being subject to a drainage easement.

Street Address: 2040 Gray Birch Way  
Current Owner: Kyle Patrick Miller

Tax ID #: 113307-000-068-0  
Original Recording: OR 1083, Page 389

FOREST GREEN

Lot 69

Commence at a concrete monument marking the Northwest corner of Section 33, Township 1 North, Range 1 East, Leon County, Florida (said concrete monument being located 21.26 feet South and 61.76 feet East of the Southeast corner of Lot 7, Block "B" of Glenwood Estates as recorded in Plat Book 2, Page 11 of the Public Records of Leon County, Florida) and run South 00 degrees 31 minutes 06 seconds West (bearing base) along the West boundary of said Section 33 a distance of 926.23 feet, thence South 89 degrees 28 minutes 54 seconds East 135.00 feet to the centerline of a 40 foot access easement, thence South 00 degrees 31 minutes 06 seconds West along said centerline 38.30 feet to the centerline of a 40 foot access easement, thence South 89 degrees 28 minutes 54 seconds East along said centerline 280.00 feet to the POINT OF BEGINNING. From said POINT OF BEGINNING continue South 89 degrees 28 minutes 54 seconds East along said centerline 90.00 feet to the center of a cul-de-sac with a 50 foot radius, thence North 00 degrees 31 minutes 06 seconds East 135.24 feet, thence North 89 degrees 31 minutes 13 seconds West 90.00 feet, thence South 00 degrees 31 minutes 06 seconds West 135.18 feet to the POINT OF BEGINNING; containing 0.28 acre, more or less.

The foregoing described property being subject to an access easement.

Street Address: 2032 Gray Birch Way  
Current Owner: Janis M. Williamson

Tax ID #: 113307-000-069-0  
Original Recording: OR 1083, Page 390

FOREST GREEN

Lot 70

Commence at a concrete monument marking the Northwest corner of Section 33, Township 1 North, Range 1 East, Leon County, Florida (said concrete monument being located 21.26 feet South and 61.76 feet East of the Southeast corner of Lot 7, Block "B" of Glenwood Estates as recorded in Plat Book 2, Page 11 of the Public Records of Leon County, Florida) and run South 00 degrees 31 minutes 06 seconds West (bearing base) along the West boundary of said Section 33 a distance of 926.23 feet, thence South 89 degrees 28 minutes 54 seconds East 135.00 feet to the centerline of a 40 foot access easement, thence South 00 degrees 31 minutes 06 seconds West along said centerline 38.30 feet to the centerline of a 40 foot access easement, thence South 89 degrees 28 minutes 54 seconds East along said centerline 190.00 feet to the POINT OF BEGINNING. From said POINT OF BEGINNING continue South 89 degrees 28 minutes 54 seconds East along said centerline 90.00 feet, thence North 00 degrees 31 minutes 06 seconds East 135.18 feet, thence North 89 degrees 31 minutes 13 seconds West 90.00 feet, thence South 00 degrees 31 minutes 06 seconds West 135.12 feet to the POINT OF BEGINNING; containing 0.28 acre, more or less.

The Southerly 20 feet of the foregoing described property being subject to an access easement.

Street Address: 2024 Gray Birch Way  
Current Owner: Patricia Ann Wallace

Tax ID #: 113307-000-070-0  
Original Recording: OR 1083, Page 391

FOREST GREEN

Lot 71

Commence at a concrete monument marking the Northwest corner of Section 33, Township 1 North, Range 1 East, Leon County, Florida (said concrete monument being located 21.26 feet South and 61.76 feet East of the Southeast corner of Lot 7, Block "B" of Glenwood Estates as recorded in Plat Book 2, Page 11 of the Public Records of Leon County, Florida) and run South 00 degrees 31 minutes 06 seconds West (bearing base) along the West boundary of said Section 33 a distance of 926.23 feet, thence South 89 degrees 28 minutes 54 seconds East 135.00 feet to the centerline of a 40 foot access easement, thence South 00 degrees 31 minutes 06 seconds West along said centerline 38.30 feet to the centerline of a 40 foot access easement, thence South 89 degrees 28 minutes 54 seconds East along said centerline 100.00 feet to the POINT OF BEGINNING. From said POINT OF BEGINNING continue South 89 degrees 28 minutes 54 seconds East along said centerline 90.00 feet, thence North 00 degrees 31 minutes 06 seconds East 135.12 feet, thence North 89 degrees 31 minutes 13 seconds West 90.00 feet, thence South 00 degrees 31 minutes 06 seconds West 135.06 feet to the POINT OF BEGINNING; containing 0.28 acre, more or less.

The Southerly 20 feet of the foregoing described property being subject to an access easement.

Street Address: 2016 Gray Birch Way Tax ID #: 113307-000-071-0  
 Current Owners: Michael S. Idelson & Beth C. Schwartz  
 Original Recording: OR 1083, Page 392

FOREST GREEN

Lot 72

Commence at a concrete monument marking the Northwest corner of Section 33, Township 1 North, Range 1 East, Leon County, Florida (said concrete monument being located 21.26 feet South and 61.76 feet East of the Southeast corner of Lot 7, Block "B" of Glenwood Estates as recorded in Plat Book 2, Page 11 of the Public Records of Leon County, Florida) and run South 00 degrees 31 minutes 06 seconds West (bearing base) along the West boundary of said Section 33 a distance of 926.23 feet, thence South 89 degrees 28 minutes 54 seconds East 135.00 feet to the centerline of a 40 foot access easement for the POINT OF BEGINNING. From said POINT OF BEGINNING run North 00 degrees 31 minutes 06 seconds East along said centerline 19.88 feet to a point of curve to the left, thence along said centerline curve with a radius of 260.00 feet, through a central angle of 13 degrees 02 minutes 53 seconds, for an arc distance of 59.21 feet to a point of reverse curve, thence along said centerline curve with a radius of 137.02 feet, through a central angle of 07 degrees 40 minutes 41 seconds, for an arc distance of 18.36 feet, thence South 89 degrees 31 minutes 13 seconds East 20.09 feet to a concrete monument, thence continue South 89 degrees 31 minutes 13 seconds East 89.56 feet, thence South 00 degrees 31 minutes 06 seconds West 135.06 feet to the centerline of a 40 foot access easement, thence North 89 degrees 28 minutes 54 seconds West 100.00 feet to the centerline of a 40 foot access easement, thence North 00 degrees 31 minutes 06 seconds East along said centerline 38.30 feet to the POINT OF BEGINNING; containing 0.32 acre, more or less.

The foregoing described property being subject to an access easement.

Street Address: 2008 Gray Birch Way Tax ID #: 113307-000-072-0  
 Current Owners: Kathleen D. Orescan & Jayce (Janyce) A. Kibler  
 Original Recording: OR 1083, Page 393

DENNETT RAINY

Ben Tucker Tract

Commence at a concrete monument marking the Northwest corner of Section 33, Township 1 North, Range 1 East, Leon County, Florida (said concrete monument being located 21.26 feet South and 61.76 feet East of the Southeast corner of Lot 7, Block "B" of Glenwood Estates as recorded in Plat Book 2, Page 11 of the Public Records of Leon County, Florida) and run South 00 degrees 31 minutes 06 seconds West (bearing base) along the West boundary of said Section 33 a distance of 159.25 feet to the centerline of a 40 foot access easement, thence South 29 degrees 17 minutes 40 seconds East along said centerline 26.34 feet to the POINT OF BEGINNING. From said POINT OF BEGINNING continue South 29 degrees 17 minutes 40 seconds East along said centerline 121.42 feet, thence South 60 degrees 42 minutes 20 seconds West 84.67 feet to a concrete monument, thence South 89 degrees 59 minutes 37 seconds West 131.90 feet to a concrete monument, thence North 42 degrees 06 minutes 04 seconds East 198.73 feet to the West boundary of said Section 33, thence South 89 degrees 28 minutes 54 seconds East 13.10 feet to the POINT OF BEGINNING; containing 0.36 acre, more or less.

The foregoing described property being subject to an access easement.

Street Address: 552 Forest Green Drive  
Current Owner: Brian Kent Will

Tax ID #: 113320-202-000-0  
Original Recording: OR 1083, Page 394



EXHIBIT "C"

NOTE 1: The easement legal description in the original Exhibit "C," recorded in OR Book 1083 at Pages 395-397, was prefaced by the following certification and disclaimer, dated June 30, 1983:

I hereby certify that the legal description shown hereon meets the Minimum Technical Standards for Land Surveying (F.A.C. 21HH-6).

The undersigned surveyor has not been provided a current title opinion or abstract of matters affecting title or boundary to the subject property. It is possible there are deeds of record, unrecorded deeds, easements or other instruments which could affect the boundaries.

NOTE 2: The easement legal description in the original Exhibit "C," recorded in OR Book 1083 at Pages 395-397, was followed by the following boundary survey reference and additional disclaimer:

Bearings and source of information were taken from a boundary survey for Dennett Rainey and Ben Tucker prepared by Broward Davis & Assoc., Inc., on April 25, 1983, Job #73—064; PSR #2752. A complete survey has not been performed by Broward Davis & Assoc., Inc., to verify the accuracy of this property and there has been no onsite inspection to determine if the foregoing property has any improvements or encroachments.

FOREST GREEN

Access Easement

Begin at a concrete monument marking the Northwest corner of Section 33, Township 1 North, Range 1 East, Leon County, Florida (said concrete monument being located 21.26 feet South and 61.76 feet East of the Southeast corner of Lot 7, Block "B" of Glenwood Estates as recorded in Plat Book 2, Page 11 of the Public Records of Leon County, Florida) and run South 00 degrees 31 minutes 06 seconds West (bearing base) along the West boundary of said Section 33 a distance of 119.02 feet to a concrete monument, thence South 29 degrees 17 minutes 40 seconds East 79.61 feet to a point of curve to the left, thence along said curve with a radius of 25.00 feet, through a central angle of 90 degrees 00 minutes 00 seconds for an arc distance of 39.27 feet, thence North 60 degrees 42 minutes 20 seconds East 169.01 feet to a point of curve to the right, thence along said curve with a radius of 170.00 feet, through a central angle of 83 degrees 02 minutes 55 seconds, for an arc distance of 246.41 feet, thence South 36 degrees 14 minutes 45 seconds East 52.31 feet to a point lying on a curve concave to the Southeasterly, thence from a tangent bearing of North 77 degrees 19 minutes 56 seconds East run Easterly, Southerly, Westerly and Northerly along said curve with a radius of 50.00 feet, through a central angle of 312 degrees 50 minutes 37 seconds, for an arc distance of 273.01 feet, thence North 36 degrees 14 minutes 45 seconds West 52.31 feet to a point of curve to the left, thence along said curve with a radius of 130.00 feet, through a central angle of 83 degrees 02 minutes 55 seconds, for an arc distance of 188.43 feet, thence South 60 degrees 42 minutes 20 seconds West 169.01 feet to a point of curve to the left, thence along said curve with a radius of 25.00 feet, through a central angle of 90 degrees 00 minutes 00 seconds, for an arc distance of 39.27 feet, thence South 29 degrees 17 minutes 40 seconds East 50.70 feet to a concrete monument marking a point of curve to the left, thence along said curve with a radius of 89.81 feet, through a central angle of 41 degrees 45 minutes 35 seconds, for an arc distance of 65.46 feet to a concrete monument, thence South 71 degrees 03 minutes 15 seconds East 67.64 feet to a concrete monument marking a point of curve to the right, thence along said curve with a radius of 75.91 feet, through a central angle of 78 degrees 46 minutes 21 seconds, for an arc distance of 104.36 feet, thence South 07 degrees 43 minutes 06 seconds West 165.31 feet to a concrete monument marking a point of curve to the right, thence along said curve with a radius of 114.33 feet, through a central angle of 33 degrees 37 minutes 45 seconds, for an arc distance of 67.10 feet to a

concrete monument, thence South 41 degrees 20 minutes 51 seconds West 82.12 feet to a concrete monument marking a point of curve to the left, thence along said curve with a radius of 117.02 feet, through a central angle of 53 degrees 52 minutes 39 seconds, for an arc distance of 110.04 feet to a point of reverse curve, thence along said curve with a radius of 280.00 feet, through a central angle of 13 degrees 02 minutes 53 seconds, for an arc distance of 63.77 feet, thence South 00 degrees 31 minutes 06 seconds West 13.18 feet to a point of curve to the left, thence along said curve with a radius of 25.00 feet, through a central angle of 90 degrees 00 minutes 00 seconds, for an arc distance of 39.27 feet, thence South 89 degrees 28 minutes 54 seconds East 279.17 feet to a point lying on a curve concave to the Southeasterly, thence from a tangent bearing of North 24 degrees 05 minutes 21 seconds East run Easterly, Southerly, and Westerly along said curve with a radius of 50.00 feet, through a central angle of 312 degrees 50 minutes 37 seconds, for an arc distance of 273.01 feet, thence North 89 degrees 28 minutes 54 seconds West 279.17 feet to a point of curve to the left, thence along said curve with a radius of 25.00 feet, through a central angle of 90 degrees 00 minutes 00 seconds, for an arc distance of 39.27 feet, thence South 00 degrees 31 minutes 06 seconds West 180.00 feet to a point of curve to the left, thence along said curve with a radius of 25.00 feet, through a central angle of 90 degrees 00 minutes 00 seconds, for an arc distance of 39.27 feet, thence South 89 degrees 28 minutes 54 seconds East 279.17 feet to a point lying on a curve concave to the Southeasterly, thence from a tangent bearing of North 24 degrees 05 minutes 21 seconds East run Easterly, Southerly and Westerly along said curve with a radius of 50.00 feet, through a central angle of 312 degrees 50 minutes 37 seconds, for an arc distance of 273.01 feet, thence North 89 degrees 28 minutes 54 seconds West 279.17 feet to a point of curve to the left, thence along said curve with a radius of 25.00 feet, through a central angle of 90 degrees 00 minutes 00 seconds, for an arc distance of 39.27 feet, thence South 00 degrees 31 minutes 06 seconds West 180.00 feet to a point of curve to the left, thence along said curve with a radius of 25.00 feet, through a central angle of 90 degrees 00 minutes 00 seconds, for an arc distance of 39.27 feet, thence South 89 degrees 28 minutes 54 seconds East 195.07 feet to a point of curve to the right, thence along said curve with a radius of 120.00 feet, through a central angle of 59 degrees 36 minutes 45 seconds, for an arc distance of 124.85 feet to a point lying on a curve concave to the Southerly, thence from a tangent bearing of South 86 degrees 15 minutes 20 seconds East run Southerly, Westerly and Northerly along said curve with a radius of 50.00 feet, through a central angle of 311 degrees 47 minutes 03 seconds, for an arc distance of 272.08 feet to a point lying on a curve concave to the Southwesterly, thence from a tangent bearing of North 34 degrees 42 minutes 21 seconds West run Northwesterly along said curve with a radius of 80.00 feet, through a central angle of 54 degrees 46 minutes 33 seconds, for an arc distance of 76.48 feet, thence North 89 degrees 28 minutes 54 seconds West 195.07 feet to a point of curve to the left, thence along said curve with a radius of 25.00 feet, through a central angle of 90 degrees 00 minutes 00 seconds, for an arc distance of 39.27 feet, thence South 00 degrees 31 minutes 06 seconds West 50.88 feet to a point lying on a curve concave to the Southwesterly, thence from a tangent bearing South 65 degrees 54 minutes 13 seconds East run Southerly, Westerly, and Northerly along said curve with a radius of 50.00 feet, through a central angle of 312 degrees 50 minutes 37 seconds, for an arc distance of 273.01 feet, thence North 00 degrees 31 minutes 06 seconds East 694.05 feet to a point of curve to the left, thence along said curve with a radius of 240.00 feet, through a central angle of 13 degrees 02 minutes 53 seconds, for an arc distance of 54.66 feet to a point of reverse curve, thence along said curve with a radius of 157.02 feet, through a central angle of 53 degrees 52 minutes 39 seconds, for an arc distance of 147.66 feet, thence North 41 degrees 20 minutes 51 seconds East 80.23 feet to a point of curve to the left, thence along said curve with a radius of 25.00 feet, through a central angle of 130 degrees 49 minutes 45 seconds, for an arc distance of 57.08 feet, thence North 89 degrees 28 minutes 54 seconds West 56.50 feet to a point lying on a curve concave to the Northwesterly, thence from a tangent bearing of South 37 degrees 23 minutes 18 seconds West run Westerly, Northerly and Easterly along said curve with a radius of 25.00 feet, through a central angle of 286 degrees 15 minutes 37 seconds, for an arc distance of 124.90 feet,

thence South 89 degrees 28 minutes 54 seconds East 75.98 feet to a point of curve to the left, thence along said curve with a radius of 25.00 feet, through a central angle of 82 degrees 48 minutes 00 seconds, for an arc distance of 36.13 feet, thence North 07 degrees 43 minutes 06 seconds East 112.39 feet to a point of curve to the left, thence along said curve with a radius of 35.91 feet, through a central angle of 78 degrees 46 minutes 21 seconds, for an arc distance of 49.37 feet, thence North 71 degrees 03 minutes 15 seconds West 67.64 feet to a point of curve to the right, thence along said curve with a radius of 129.81 feet, through a central angle of 41 degrees 45 minutes 35 seconds, for an arc distance of 94.61 feet, thence North 29 degrees 17 minutes 40 seconds West 150.50 feet to the West boundary of said Section 33, thence North 00 degrees 31 minutes 06 seconds East along said West boundary 20.11 feet to a concrete monument, thence North 29 degrees 17 minutes 40 seconds West 100.57 feet to a concrete monument, thence North 00 degrees 31 minutes 06 seconds East 91.67 feet to a concrete monument on the Southerly right of way boundary of Olivia Drive, thence South 89 degrees 58 minutes 24 seconds East along said right of way boundary 50.00 feet to the POINT OF BEGINNING; containing 3.93 acres, more or less.

Original Recording: OR 1083, Pages 395-397



## EXHIBIT "D"

NOTE 1: Each easement legal description in the original Exhibit "D," recorded in OR Book 1083 at Pages 398-403, was prefaced by the following certification and disclaimer, on the first two descriptions dated June 30, 1983, on the third description dated September 12, 1983 - Revised September 14, 1983, and on the fourth description dated September 12, 1983:

I hereby certify that the legal description shown hereon meets the Minimum Technical Standards for Land Surveying (F.A.C. 21HH-6).

The undersigned surveyor has not been provided a current title opinion or abstract of matters affecting title or boundary to the subject property. It is possible there are deeds of record, unrecorded deeds, easements or other instruments which could affect the boundaries.

NOTE 2: Each easement legal description in the original Exhibit "D," recorded in OR Book 1083 at Pages 325-394, was followed by the following boundary survey reference and additional disclaimer:

Bearings and source of information were taken from a boundary survey for Dennett Rainey and Ben Tucker prepared by Broward Davis & Assoc., Inc., on April 25, 1983, Job #73—064; PSR #2752.

A complete survey has not been performed by Broward Davis & Assoc., Inc., to verify the accuracy of this property and there has been no onsite inspection to determine if the foregoing property has any improvements or encroachments.

FOREST GREEN

Drainage Easement on North End of Property

Commence at a concrete monument marking the Northwest corner of Section 33, Township 1 North, Range 1 East, Leon County, Florida (said concrete monument being located 21.26 feet South and 61.76 feet East of the Southeast corner of Lot 7, Block "B" of Glenwood Estates as recorded in Plat Book 2, Page 11 of the Public Records of Leon County, Florida) and run North  $00^{\circ} 21' 0''$  East 21.29 feet to a concrete monument, thence North  $89^{\circ} 58' 27''$  East 150.61 feet, thence continue North  $89^{\circ} 58' 27''$  East 365.81 feet to the POINT OF BEGINNING. From said POINT OF BEGINNING, continue to run North  $89^{\circ} 58' 27''$  East 150.38 feet to a concrete monument, thence South  $00^{\circ} 06' 06''$  West 437.26 feet to a concrete monument, thence North  $89^{\circ} 29' 35''$  West 20.00 feet, thence North  $00^{\circ} 06' 06''$  East 178 feet, thence North  $34^{\circ} 19' 39''$  West 74.28 feet, thence South  $53^{\circ} 45' 15''$  West 96.37 feet to a point lying on a curve concave to the Southwesterly, thence from a tangent bearing North  $24^{\circ} 42' 32''$  West run Northwesterly along said curve with a radius of 50.00 feet, through a central angle of  $23^{\circ} 04' 26''$ , for an arc distance of 20.14 feet, thence North  $53^{\circ} 45' 15''$  East 97.04 feet, thence North  $34^{\circ} 19' 39''$  West 29.52 feet, thence North  $55^{\circ} 08' 43''$  West 108.06 feet, thence North  $22^{\circ} 46' 47''$  East 70.51 feet, thence South  $89^{\circ} 58' 27''$  West 21 feet, more or less, to the lot lying and dividing lots number 10 and 11 of Forest Green Subdivision as described in Exhibit "B" attached to the Declaration of Covenants and Restrictions recorded in Official Records Book 1083, Page 311, et seq., Public Records of Leon County, Florida, and thence run North  $36^{\circ} 34' 34''$  East along said lot line between Lots 10 and 11 a distance of  $39^{\circ}$ , more or less, to the POINT OF BEGINNING.

Original description recorded at OR 1083, Page 398, was revised by Modification to Declaration of Covenants, Conditions and Restrictions of Forest Green recorded in OR 1395, Page 1616 (to abandon that part of the easement running across the Northerly 30 feet of Lots 8, 9 and 10).

FOREST GREEN

## Drainage Easement on South End of Property

Commence at a concrete monument marking the Northwest corner of Section 33, Township 1 North, Range 1 East, Leon County, Florida (said concrete monument being located 21.26 feet South and 61.76 feet East of the Southeast corner of Lot 7, Block "B" of Glenwood Estates as recorded in Plat Book 2, Page 11 of the Public Records of Leon County, Florida) and run South 00 degrees 31 minutes 06 seconds West (bearing base) along the West boundary of said Section 33 a distance of 926.23 feet to the POINT OF BEGINNING. From said POINT OF BEGINNING continue South 00 degrees 31 minutes 06 seconds West along said West boundary 920.00 feet to a concrete monument lying on a curve concave to the Northerly on the Northerly right of way boundary of the Seaboard Coast Line Railroad (120 foot right of way), thence from a tangent bearing of North 89 degrees 51 minutes 37 seconds East run Easterly along said right of way curve with a radius of 1798.26 feet, through a central angle of 22 degrees 15 minutes 01 second, for an arc distance of 698.34 feet to a concrete monument, thence North 00 degrees 06 minutes 06 seconds East 875.37 feet to a concrete monument thence North 89 degrees 31 minutes 13 seconds West 15.00 feet, thence South 00 degrees 06 minutes 06 seconds West 210.41 feet, thence North 60 degrees 14 minutes 00 seconds West 122.49 feet to a point lying on a curve concave to the Northwesterly, thence from a tangent bearing of South 18 degrees 13 minutes 47 seconds West run Southwesterly along said curve with a radius of 50.00 feet, through a central angle of 23 degrees 04 minutes 26 seconds, for an arc distance of 20.14 feet, thence South 60 degrees 14 minutes 00 seconds East 133.88 feet, thence South 00 degrees 06 minutes 06 seconds West 247.12 feet, thence North 60 degrees 30 minutes 49 seconds West 124.32 feet to a point lying on a curve concave to the Northwesterly, thence from a tangent bearing of South 17 degrees 56 minutes 58 seconds West run Southwesterly along said curve with a radius of 23 degrees 04 minutes 26 seconds, for an arc distance of 20.14 feet, thence South 60 degrees 30 minutes 49 seconds East 135.58 feet, thence South 00 degrees 06 minutes 06 seconds West 356.51 feet to a point lying on a curve concave to the Northerly, thence from a tangent bearing of South 67 degrees 51 minutes 58 seconds West run Southwesterly along a line 20 feet Northerly of and parallel with the Northerly right of way boundary of said Seaboard Coast Line Railroad and along said curve with a radius of 1778.26 feet, through a central angle of 07 degrees 01 minute 26 seconds, for an arc distance of 218.00 feet, thence North 74 degrees 10 minutes 55 seconds West 6.40 feet, thence North 12 degrees 03 minutes 54 seconds East 117.55 feet to a point lying on a curve concave to the Northerly, thence from a tangent bearing of North 89 degrees 28 minutes 19 seconds West run Westerly along said curve with a radius of 50.00 feet, through a central angle of 23 degrees 04 minutes 26 seconds, for an arc distance of 20.14 feet, thence South 12 degrees 03 minutes 54 seconds West 116.23 feet, thence North 74 degrees 10 minutes 55 seconds West 107.72 feet, thence South 82 degrees 16 minutes 39 seconds West 73.26 feet, thence North 69 degrees 31 minutes 34 seconds West 118.62 feet to a point lying on a curve concave to the Northerly, thence from a tangent bearing of South 78 degrees 58 minutes 53 seconds West run Westerly along said curve with a radius of 50.00 feet, through a central angle of 23 degrees 04 minutes 26 seconds, for an arc distance of 20.14 feet, thence South 61 degrees 54 minutes 14 seconds West 125.30 feet, thence North 00 degrees 31 minutes 06 seconds East along a line 15 feet East and parallel with the West boundary of said Section 33 a distance of 829.00 feet, thence North 89 degrees 28 minutes 54 seconds West 15.00 feet to the POINT OF BEGINNING; containing 1.86 acres, more or less.

Original Recording: OR 1083, Pages 399-400

FOREST GREEN

15 Foot Drainage Easement on Lot 5

Commence at a concrete monument marking the Northwest corner of Section 33, Township 1 North, Range 1 East, Leon County, Florida, (said concrete monument being located 21.26 feet South and 61.76 feet East of the Southeast corner of Lot 7, Block "B" of Glenwood Estates as recorded in Plat Book 2, Page 11, of the Public Records of Leon County, Florida) and run North 00 degrees 31 minutes 06 seconds East 6.29 feet to the POINT OF BEGINNING. From said POINT OF BEGINNING continue North 00 degrees 31 minutes 06 seconds East 15.00 feet to a concrete monument, thence North 89 degrees 58 minutes 27 seconds East 150.61 feet, thence South 00 degrees 01 minute 33 seconds East 151.00 feet, thence South 89 degrees 58 minutes 27 seconds West 150.74 feet to the POINT OF BEGINNING; containing 0.05 acre, more or less.

Original Recording: OR 1083, Page 401

FOREST GREEN

Drainage Easement for part of  
Lots 14, 15, 16, 20, 21 and 23

Commence at a concrete monument marking the Northwest corner of Section 33, Township 1 North, Range 1 East, Leon County, Florida (said concrete monument being located 21.26 feet South and 61.76 feet East of the Southeast corner of Lot 7, Block "B" of Glenwood Estates as recorded in Plat Book 2, Page 11 of the Public Records of Leon County, Florida) and run North 00 degrees 31 minutes 06 seconds East 21.29 feet to a concrete monument, thence North 89 degrees 58 minutes 27 seconds East 666.78 feet to a concrete monument, thence South 00 degrees 06 minutes 06 seconds West 139.81 feet, thence South 53 degrees 45 minutes 15 seconds West 229.69 feet to the center of a cul-de-sac with a 50 foot radius for the POINT OF BEGINNING. From said POINT OF BEGINNING run North 58 degrees 17 minutes 49 seconds West 5.00 feet, thence South 31 degrees 42 minutes 11 seconds West 101.68 feet, thence South 78 degrees 45 minutes 19 seconds West 13.63 feet, thence North 54 degrees 11 minutes 34 seconds West 71.62 feet, thence South 60 degrees 42 minutes 20 seconds West 175.68 feet to a point in a 40 foot ingress, egress and utility easement, thence South 29 degrees 17 minutes 40 seconds East 10.00 feet, thence North 60 degrees 42 minutes 20 seconds East 159.30 feet, thence South 86 degrees 44 minutes 37 seconds East 16.86 feet, thence South 54 degrees 11 minutes 34 seconds East 75.98 feet, thence North 31 degrees 42 minutes 11 seconds East 122.42 feet, thence North 58 degrees 17 minutes 49 seconds West 5.00 feet to the POINT OF BEGINNING; containing 0.09 acre, more or less.

Original Recording: OR 1083, Pages 402-403

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ARTICLES OF INCORPORATION

OF

FOREST GREEN HOMEOWNERS ASSOCIATION, INC.

In compliance with Chapter 617, Florida Statutes, the undersigned, all of whom are residents of Leon County, Florida, and all of whom are of full age, have this day voluntarily associated themselves together for the purpose of forming a corporation not for profit and do hereby certify:

ARTICLE I

The name of the corporation is FOREST GREEN HOMEOWNERS ASSOCIATION, INC., hereafter called the "Association."

ARTICLE II

The principal office of the Association is located at 325 John Knox Road, Suite L-101, Tallahassee, Florida 32303.

ARTICLE III

Russell D. Gautier, whose address is 325 John Knox Road, Suite L-101, Tallahassee, Florida 32303, is hereby appointed the initial registered agent of this Association.

ARTICLE IV

PURPOSE AND POWERS OF THE ASSOCIATION

This Association does not contemplate pecuniary gain or profit to the members thereof, and the specific purposes for which it is formed are to provide for maintenance, preservation and architectural control of the residential Lots and Common Area within that certain tract of property located in Leon County, Florida, and described in Exhibit "A" attached hereto and by

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reference made a part hereof, and to promote the health, safety and welfare of the residents within the above-referenced property and any additions thereto as may hereafter be brought within the jurisdiction of this Association for this purpose to:

(a) exercise all of the powers and privileges and to perform all of the duties and obligations of the Association as set forth in that certain Declaration of Covenants, Conditions and Restrictions, hereinafter called the "Declaration," applicable to the above-described property and recorded or to be recorded in the Official Records of Leon County, Florida, and as the same may be amended from time to time as therein provided, said Declaration being incorporated herein as if set forth at length;

(b) fix, levy, collect and enforce payment by any lawful means, all charges or assessments pursuant to the terms of the Declaration;

(c) pay all expenses in connection therewith and all office and other expenses incident to the conduct of the business of the Association, including all licenses, taxes or governmental charges levied or imposed against the property of the Association;

(d) acquire (by gift, purchase or otherwise), own, hold, improve, use, build upon, operate, maintain, convey, sell, lease, transfer, dedicate for public use or otherwise dispose of real or personal property in connection with the affairs of the Association;

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(e) borrow money, and with the assent of two-thirds (2/3) of each class of members mortgage, pledge, deed in trust, or hypothecate any or all of its real or personal property as security for money borrowed or debts incurred;

(f) dedicate, sell or transfer all or any part of the Common Area to any public agency, authority, or utility for such purposes and subject to such conditions as may be agreed to by the members (provided, however, no such dedication or transfer shall be effective unless an instrument has been signed by two-thirds (2/3) of each class of members, agreeing to such dedication, sale or transfer);

(g) participate in mergers and consolidations with other nonprofit corporations organized for the same purposes or annex additional residential property and Common Area, provided that any such merger, consolidation or annexation shall have the assent of two-thirds (2/3) of each class of members;

(h) have and to exercise any and all powers, rights and privileges which a corporation organized under the Non-Profit Corporation Law of the State of Florida by law may now or hereafter possess;

(i) cause the exterior of the dwellings to be maintained and to cause the Lots to be properly maintained.

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## ARTICLE V

## MEMBERSHIP

Every person or entity who is a record owner of a fee or undivided fee interest in any Lot which is subject by covenants of record to assessment by the Association, including contract sellers, shall be a member of the Association. The foregoing is not intended to include persons or entities who hold an interest merely as security for the performance of an obligation. Membership shall be appurtenant to and may not be separated from ownership of any Lot which is subject to assessment by the Association.

## ARTICLE VI

## VOTING RIGHTS

The Association shall have two classes of voting membership:

Class A. Class A members shall be all Owners (as defined in the Declaration), with the exception of the Declarant, and shall be entitled to one vote for each Lot owned. When more than one person holds an interest in any Lot, all such persons shall be members. The vote for such Lot shall be exercised as they determine, but in no event shall more than one vote be cast with respect to any Lot.

Class B. The Class B member(s) shall be the Declarant (as defined in the Declaration), and shall be entitled to three (3) votes for each Lot owned. The Class B membership shall cease and be converted to Class A membership on the happening of either of the following events, whichever occurs earlier:

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- (a) when the total votes outstanding in the Class A membership equal the total votes outstanding in the Class B membership; or
- (b) upon the expiration of five (5) years from the date of the recording of the Declaration.

## ARTICLE VII

## BOARD OF DIRECTORS

The affairs of this Association shall be managed by a Board of three (3) Directors, who need not be members of the Association. The number of directors and directors' terms of office may be changed by amendment of the ByLaws of the Association. The names and addresses of the persons who are to act in the capacity of directors until the selection of their successors are:

<u>NAME</u>	<u>ADDRESS</u>
Dennett I. Rainey	Post Office Box 13325 Tallahassee, FL 32317
Tina Duffin	3138 W. Tharpe Street Tallahassee, FL 32303
Linda Hornby	3138 W. Tharpe Street Tallahassee, FL 32303

At the first annual meeting the members shall elect one director for a term of one year, one director for a term of two years and one director for a term of three years; and at each annual meeting thereafter the members shall elect one director for a term of three years.

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## ARTICLE VIII

## OFFICERS

The officers of this Association shall be a President and Vice President, who shall at all times be members of the Board of Directors, a Secretary, a Treasurer and such other officers as the Board of Directors may from time to time by resolution create. The election, term, removal and duties of the officers shall be as set forth in the By-Laws. Until the first election, Dennett I. Rainey will serve as President, Linda Hornby will serve as Vice President and Tina Duffin will serve as Secretary and Treasurer.

## ARTICLE IX

## BY-LAWS

The initial By-Laws for the Association shall be adopted by a vote of a majority of the members of the Board of Directors. The By-Laws may be amended or altered at a regular or special meeting of the members, by a vote of majority of a quorum of members present in person or by proxy, in the manner and subject to any other conditions set forth in the By-Laws.

## ARTICLE X

## DISSOLUTION

The Association may be dissolved with the assent given in writing and signed by not less than two-thirds (2/3) of each class of members. Upon dissolution of the Association, other than incident to a merger or consolidation, the assets of the Association shall be dedicated to an appropriate public agency to

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be used for the purposes similar to those for which this Association was created. In the event that such dedication is refused acceptance, such assets shall be granted, conveyed and assigned to any nonprofit corporation, association, trust or other organization to be devoted to such similar purposes.

## ARTICLE XI

## DURATION

The corporation shall exist perpetually.

## ARTICLE XII

## AMENDMENTS

(1) Amendments to these Articles shall be made in the following manner:

(a) The Board of Directors shall adopt a resolution setting forth the proposed amendment and, if members have been admitted, directing that it be submitted to a vote at a meeting of members, which may be either the annual or a special meeting. If no members have been admitted, the amendment shall be adopted by a vote of the majority of Directors and the provisions for adoption by members shall not apply.

(b) Written notice setting forth the proposed amendment or a summary of the changes to be effected thereby shall be given to each member of record entitled to vote thereon within the time and in the manner provided in this chapter for the giving of notice of meetings of members. If the meeting is an annual meeting, the proposed amendment or such summary may be included in the notice of such annual meeting.

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(c) At such meeting, a vote of the members entitled to vote thereon shall be taken on the proposed amendment. The proposed amendment shall be adopted upon receiving the affirmative vote of a majority of the votes of members entitled to vote thereon, unless any class of members is entitled to vote thereon as a class in which event the proposed amendment shall be adopted upon receiving both the affirmative vote of a majority of the votes of members of each class entitled to vote thereon as a class and the affirmative vote of a majority of the votes of all members entitled to vote thereon.

(2) Any number of amendments may be submitted to the members and voted upon by them at one meeting.

(3) If all of the Directors and all of the members eligible to vote sign a written statement manifesting their intention that an amendment to these Articles of Incorporation be adopted, then the amendment shall thereby be adopted as though subsection (1) had been satisfied.

(4) The members may amend these Articles of Incorporation, without an act of the Directors at a meeting for which notice of the changes to be made is given.

#### ARTICLE XIII

##### FHA OR VA APPROVAL

As long as there is a Class B membership, the following actions will require the prior approval of the Federal Housing Administration or the Veterans Administration: annexation of additional properties, mergers and consolidations, mortgaging of

RDG9  
7-5-83

Common Area, dedication of Common Area, dissolution and amendment of these Articles.

IN WITNESS WHEREOF, for the purpose of forming this corporation under the laws of the State of Florida, we, the undersigned, constituting the incorporators of this Association, have executed these Articles of Incorporation this 15 day of Sept., 1983.

Dennett Rainey  
Dennett I. Rainey  
Post Office Box 13325  
Tallahassee, FL 32317

Linda Hornby  
Linda Hornby  
3138 W. Tharpe Street  
Tallahassee, FL 32303

Tina Duffin  
Tina Duffin  
3138 W. Tharpe Street  
Tallahassee, FL 32303

STATE OF FLORIDA,

COUNTY OF LEON.

I HEREBY CERTIFY that on this day, before me, a Notary Public duly authorized in the State and County named above to take acknowledgments, personally appeared DENNETT I. RAINY to me known to be the person described in and who executed the foregoing ARTICLES OF INCORPORATION OF FOREST GREEN HOMEOWNERS ASSOCIATION, INC., and acknowledged before me that she executed the same for the uses and purposes therein expressed.

WITNESS my hand and official seal in the State and County named above this 15 day of Sept., 1983.

Janet M Meadow  
NOTARY PUBLIC

My Commission Expires:

RDG9  
7-5-83

STATE OF FLORIDA,

COUNTY OF LEON.

I HEREBY CERTIFY that on this day, before me, a Notary Public duly authorized in the State and County named above to take acknowledgments, personally appeared LINDA HORNBY, to me known to be the person described in and who executed the foregoing ARTICLES OF INCORPORATION OF FOREST GREEN HOMEOWNERS ASSOCIATION, INC., and acknowledged before me that he executed the same for the uses and purposes therein expressed.

WITNESS my hand and official seal in the State and County named above this 15 day of Sept., 1983.

*Daniel M. Meadows*  
NOTARY PUBLIC

My Commission Expires:

STATE OF FLORIDA,

Notary Public, State of Florida

No. C-11111111111111111111

COUNTY OF LEON.

I HEREBY CERTIFY that on this day, before me, a Notary Public duly authorized in the State and County named above to take acknowledgments, personally appeared TINA DUFFIN, to me known to be the person described in and who executed the foregoing ARTICLES OF INCORPORATION OF FOREST GREEN HOMEOWNERS ASSOCIATION, INC., and acknowledged before me that she executed the same for the uses and purposes therein expressed.

WITNESS my hand and official seal in the State and County named above this 15 day of Sept., 1983.

*Daniel M. Meadows*  
NOTARY PUBLIC

My Commission Expires:

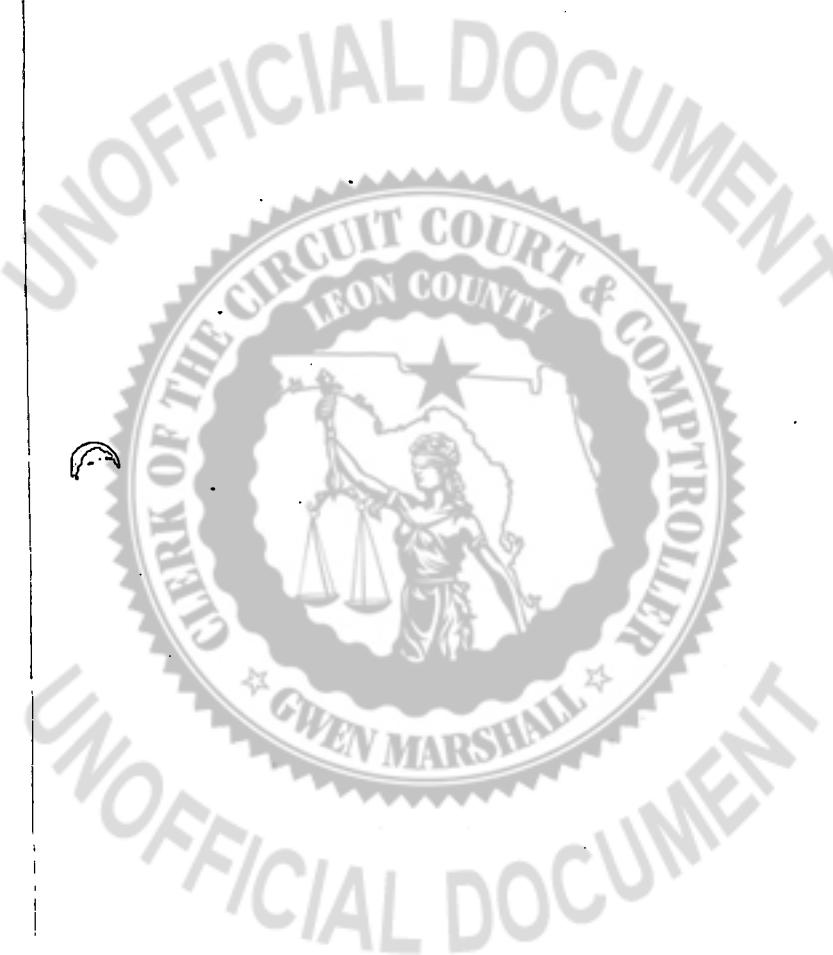
Notary Public, State of Florida  
My Commission Expired - Aug. 6, 1987  
Notary Public from State of Florida



ACCEPTANCE BY RESIDENT AGENT

Having been named to accept service of process for Forest Green Homeowners Association, Inc., at 325 John Knox Road, Suite L-101, Tallahassee, Florida 32303, I hereby accept and agree to act in this capacity, and agree to comply with the laws of Florida relative to keeping open said office.

  
Russell D. Gautier  
Resident Agent



BY-LAWS

OF

FOREST GREEN HOMEOWNERS ASSOCIATION, INC.

ARTICLE I

NAME AND LOCATION. The name of the corporation is FOREST GREEN HOMEOWNERS ASSOCIATION, INC., hereinafter referred to as the "Association." The initial principal office of the corporation shall be located at 3138 W. Tharpe Street, Tallahassee, Florida 32303 but meetings of members and directors may be held at such places within the State of Florida, County of Leon, as may be designated by the Board of Directors.

ARTICLE II

DEFINITIONS

Section 1. "Association" shall mean and refer to FOREST GREEN HOMEOWNERS ASSOCIATION, INC., its successors and assigns.

Section 2. "Properties" shall mean and refer to that certain real property described in the Declaration of Covenants, Conditions and Restrictions, and such additions thereto as may hereafter be brought within the jurisdiction of the Association.

Section 3. "Common Area" shall mean all real property owned by the Association for the common use and enjoyment of the Owners.

Section 4. "Lot" shall mean and refer to each plot of land described as a lot in the Declaration of Covenants, conditions and restrictions with the exception of the Common Area.

Section 5. "Owner" shall mean and refer to the record owner, whether one or more persons or entities, of the fee simple title to any Lot which is a part of the Properties, including contract sellers, but excluding those having such interest merely as security for the performance of an obligation.

Section 6. "Declarant" shall mean and refer to Dennett I. Rainey, its successors and assigns if such successors or assigns should acquire more than one undeveloped Lot from the Declarant for the purpose of development.

Section 7. "Declaration" shall mean and refer to the Declaration of Covenants, Conditions and Restrictions applicable to the Properties recorded in the Office of Official Records of Leon County, Florida.

Section 8. "Member" shall mean and refer to those persons entitled to membership as provided in the Declaration.

### ARTICLE III

#### MEETING OF MEMBERS

Section 1. Annual Meetings. The first annual meeting of the members shall be held within one year from the date of incorporation of the Association, and each subsequent regular annual meeting of the members shall be held on the same day of the same month of each year thereafter, at the hour of 10:00, A.M. If the day for the annual meeting of the members is a legal holiday, the meeting will be held at the same hour on the first day following which is not a legal holiday.

Section 2. Special Meetings. Special meetings of the members may be called at any time by the President or by the Board of Directors, or upon written request of the members who are entitled to vote one-fourth (1/4) of all of the votes of the Class A membership.

Section 3. Notice of Meetings. Written notice of each meeting of the members shall be given by, or at the direction of, the Secretary or person authorized to call the meeting, by mailing a copy of such notice, postage prepaid, at least 15 days before such meeting to each member entitled to vote thereat, addressed to the member's address last appearing on the books of the Association, or supplied by such member to the Association for the purpose of notice. Such notice shall specify the place, day and hour of the meeting, and, in the case of a special meeting, the purpose of the meeting.

Section 4. Quorum. The presence at the meeting of members entitled to cast, or of proxies entitled to cast, one-third (1/3) of the votes of each class of membership shall constitute a quorum for any action. If, however, such quorum shall not be present or represented at any meeting, the members entitled to vote thereat shall have power to adjourn the meeting from time to time, without notice other than announcement at the meeting, until a quorum as aforesaid shall be present or be represented.

Section 5. Proxies. At all meetings of members, each member may vote in person or by proxy. All proxies shall be in writing and filed with the Secretary. Every proxy shall be

revocable and shall automatically cease upon conveyance by the member of his Lot.

#### ARTICLE IV

##### BOARD OF DIRECTORS: SELECTION: TERM OF OFFICE

Section 1. Number. The affairs of this Association shall be managed by a Board of three (3) directors, who need not be members of the Association.

Section 2. Term of Office. At the first annual meeting the members shall elect one director for a term of one year, one director for a term of two years and one director for a term of three years; and at each annual meeting thereafter the members shall elect one director for a term of three years.

Section 3. Removal. Any director may be removed from the Board, with or without cause, by a majority vote of the members of the Association. In the event of death, resignation or removal of a director, his successor shall be selected by the remaining members of the Board and shall serve for the unexpired term of his predecessor.

Section 4. Compensation. No director shall receive compensation for any service he may render to the Association. However, any director may be reimbursed for his actual expenses incurred in the performance of his duties.

Section 5. Action Taken Without a Meeting. The directors shall have the right to take any action in the absence of a meeting which they could take at a meeting by obtaining the written approval of a majority of the directors. Any action so

approved shall have the same effect as though taken at a meeting of the directors.

## ARTICLE V

### NOMINATION AND ELECTION OF DIRECTORS

Section 1. Nomination. Nomination for election to the Board of Directors shall be made by a Nominating Committee. Nominations may also be made from the floor at the annual meeting. The Nominating Committee shall consist of a Chairman, who shall be a member of the Board of Directors, and any two or more members of the Association. The Nominating Committee shall be appointed by the Board of Directors prior to each annual meeting of the members, to serve from the close of such annual meeting until the close of the next annual meeting and such appointment shall be announced at each annual meeting. The Nominating Committee shall make as many nominations for election to the Board of Directors as it shall in its discretion determine, but not less than the number of vacancies that are to be filled. Such nominations may be made from among members or non-members.

Section 2. Election. Election to the Board of Directors shall be by secret written ballot. At such election the members or their proxies may cast, in respect to each vacancy, as many votes as they are entitled to exercise under the provisions of the Declaration. The persons receiving the largest number of votes shall be elected. Cumulative voting is not permitted.

## ARTICLE VI

### MEETINGS OF DIRECTORS

Section 1. Regular Meetings. Regular meetings of the Board of Directors shall be held monthly without notice, at such place and hour as may be fixed from time to time by resolution of the Board. Should said meeting fall upon a legal holiday, then that meeting shall be held at the same time on the next day which is not a legal holiday.

Section 2. Special Meetings. Special meetings of the Board of Directors shall be held when called by the President of the Association, or by any two directors, after not less than three (3) days notice to each director.

Section 3. Quorum. A majority of the number of directors shall constitute a quorum for the transaction of business. Every act or decision done or made by a majority of the directors present at a duly held meeting at which a quorum is present shall be regarded as the act of the Board.

## ARTICLE VII

### POWERS AND DUTIES OF THE BOARD OF DIRECTORS

Section 1. Powers. The Board of Directors shall have power to:

(a) adopt and publish rules and regulations governing the use of the Common Area and facilities, and the personal conduct of the members and their guests thereon, and to establish penalties for the infraction thereof;

(b) suspend the voting rights and right to use of the recreational facilities of a member during any period in which such member shall be in default in the payment of any assessment levied by the Association. Such rights may also be suspended after notice and hearing, for a period not to exceed 60 days for infraction of published rules and regulations;

(c) exercise for the Association all powers, duties and authority vested in or delegated to this Association and not reserved to the membership by other provisions of these By-Laws, the Articles of Incorporation, or the Declaration;

(d) declare the office of a member of the Board of Directors to be vacant in the event such member shall be absent from three (3) consecutive regular meetings of the Board of Directors; and

(e) employ a manager, an independent contractor, or such other employees as they deem necessary, and to prescribe their duties.

Section 2. Duties. It shall be the duty of the Board of Directors to:

(a) cause to be kept a complete record of all its acts and corporate affairs and to present a statement thereof to the members at the annual meeting of the members, or at any special meeting when such statement is requested in writing by one-fourth (1/4) of the Class A members who are entitled to vote;

(b) supervise all officers, agents and employees of this Association, and to see that their duties are properly performed;

(c) as more fully provided in the Declaration, to:

(1) fix the amount of the annual assessment against each Lot at least thirty (30) days in advance of each annual assessment period;

(2) send written notice of each assessment to every Owner subject thereto at least thirty (30) days in advance of each annual assessment period; and

(3) foreclose the lien against any property for which assessments are not paid within thirty (30) days after due date and/or to bring an action at law against the owner personally obligated to pay the same.

(d) issue, or to cause an appropriate officer to issue, upon demand by any person, a certificate setting forth whether or not any assessment has been paid. A reasonable charge may be made by the Board for the issuance of any such certificates. If a certificate states an assessment has been paid, such certificate shall be conclusive evidence of such payment;

(e) procure and maintain adequate liability and hazard insurance on property owned by the Association;

(f) cause all officers or employees having fiscal responsibilities to be bonded, as it may deem appropriate;

(g) cause the Common Area to be maintained.

## ARTICLE VIII

### OFFICERS AND THEIR DUTIES

Section 1. Enumeration of Offices. The officers of this Association shall be a President and Vice President, who shall at

all times be members of the Board of Directors, a Secretary, and a Treasurer, and such other officers as the Board may from time to time by resolution create.

Section 2. Election of Officers. The election of officers shall take place at the first meeting of the Board of Directors following each annual meeting of the members.

Section 3. Term. The officers of this Association shall be elected annually by the Board and each shall hold office for one (1) year unless he shall sooner resign, or shall be removed, or otherwise disqualified to serve.

Section 4. Special Appointments. The Board may elect such other officers as the affairs of the Association may require, each of whom shall hold office for such period, have such authority, and perform such duties as the Board may, from time to time, determine.

Section 5. Resignation and Removal. Any officer may be removed from office with or without cause by the Board. Any officer may resign at any time giving written notice to the Board, the President or the Secretary. Such resignation shall take effect on the date of receipt of such notice or at any later time specified therein, and unless otherwise specified therein, the acceptance of such resignation shall not be necessary to make it effective.

Section 6. Vacancies. A vacancy in any office may be filled by appointment by the Board. The officer appointed to

such vacancy shall serve for the remainder of the term of the officer he replaces.

Section 7. Multiple Offices. The offices of Secretary and Treasurer may be held by the same person. No person shall simultaneously hold more than one of any of the other offices except in the case of special offices created pursuant to Section 4 of this Article.

Section 8. Duties. The duties of the officers are as follows:

President

(a) The President shall preside at all meetings of the Board of Directors; shall see that orders and resolutions of the Board are carried out; shall sign all leases, mortgages, deeds and other written instruments and shall co-sign all checks and promissory notes.

Vice President

(b) The Vice President shall act in the place and stead of the President in the event of his absence, inability or refusal to act, and shall exercise and discharge such other duties as may be required of him by the Board.

Secretary

(c) The Secretary shall record the votes and keep the minutes of all meetings and proceedings of the Board and of the members; keep the corporate seal of the Association and affix it on all papers requiring said seal; serve notice of meetings of the Board and of the members; keep appropriate current records

Incorporation and the By-Laws of the Association shall be available for inspection by any member at the principal office of the Association, where copies may be purchased at reasonable cost.

#### ARTICLE XI

##### ASSESSMENTS

As more fully provided in the Declaration, each member is obligated to pay to the Association annual and special assessments which are secured by a continuing lien upon the property against which the assessment is made. Any assessments which are not paid when due shall be delinquent. If the assessment is not paid within thirty (30) days after the due date, the assessment shall bear interest from the date of delinquency at the rate of fifteen percent (15%) per annum, and the Association may bring an action at law against the Owner personally obligated to pay the same or foreclose the lien against the property, and interest, costs, and reasonable attorney's fees of any such action shall be added to the amount of such assessment. No Owner may waive or otherwise escape liability for the assessments provided for herein by nonuse of the Common Area or abandonment of his Lot.

#### ARTICLE XII

##### CORPORATE SEAL

The Association shall have a seal in circular form having within its circumference the words (or an appropriate contraction

showing the members of the Association together with their addresses, and shall perform such other duties as required by the Board.

Treasurer

(d) The Treasurer shall receive and deposit in appropriate bank accounts all monies of the Association and shall disburse such funds as directed by resolution of the Board of Directors; shall sign all checks and promissory notes of the Association; keep proper books of account; cause an annual audit of the Association books to be made by a public accountant at the completion of each fiscal year; and shall prepare an annual budget and a statement of income and expenditures to be presented to the membership at its regular meeting, and deliver a copy of each to the members.

ARTICLE IX

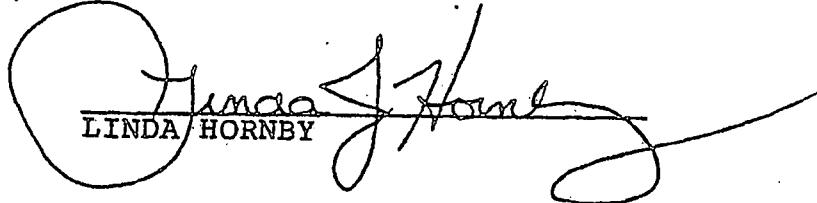
COMMITTEES

The Association shall appoint an Architectural Control Committee, as provided in the Declaration, and a Nominating Committee, as provided in these By-Laws. In addition, the Board of Directors shall appoint other committees as deemed appropriate in carrying out its purpose.

ARTICLE X

BOOKS AND RECORDS

The books, records and papers of the Association shall at all times, during reasonable business hours, be subject to inspection by any member. The Declaration, the Articles of

  
LINDA HORNBY

STATE OF FLORIDA,

COUNTY OF LEON.

I HEREBY CERTIFY that on this day, before me, a Notary Public duly authorized in the State and County named above to take acknowledgments, personally appeared DENNETT I. RAINY to me known to be the person described in and who executed the foregoing BY-LAWS OF FOREST GREEN HOMEOWNERS ASSOCIATION, INC., and acknowledged before me that she executed the same for the uses and purposes therein expressed.

WITNESS my hand and official seal in the State and County named above this 28th day of October, 1983.

  
NOTARY PUBLIC

My Commission Expires:

Notary Public, State of Florida  
My Commission Expires May 4, 1986  
Bonded Thru Troy Fain - Insurance, Inc.

STATE OF FLORIDA,

COUNTY OF LEON.

I HEREBY CERTIFY that on this day, before me, a Notary Public duly authorized in the State and County named above to take acknowledgments, personally appeared JANET M. MEADOWS to me known to be the person described in and who executed the foregoing BY-LAWS OF FOREST GREEN HOMEOWNERS ASSOCIATION, INC., and acknowledged before me that he executed the same for the uses and purposes therein expressed.

WITNESS my hand and official seal in the State and County named above this 27th day of Dec., 1983.

  
NOTARY PUBLIC

My Commission Expires:

Notary Public, State of Florida  
My Commission Expires March 15, 1987  
Bonded Thru Troy Fain - Insurance, Inc.

or abbreviation thereof): FOREST GREEN HOMEOWNERS ASSOCIATION, INC., a corporation not for profit.

### ARTICLE XIII

#### AMENDMENTS

Section 1. These By-Laws may be amended, at a regular or special meeting of the members, by a vote of majority of a quorum of members present in person or by proxy, except that the Federal Housing Administration or the Veterans Administration shall have the right to veto amendments while there is Class B membership.

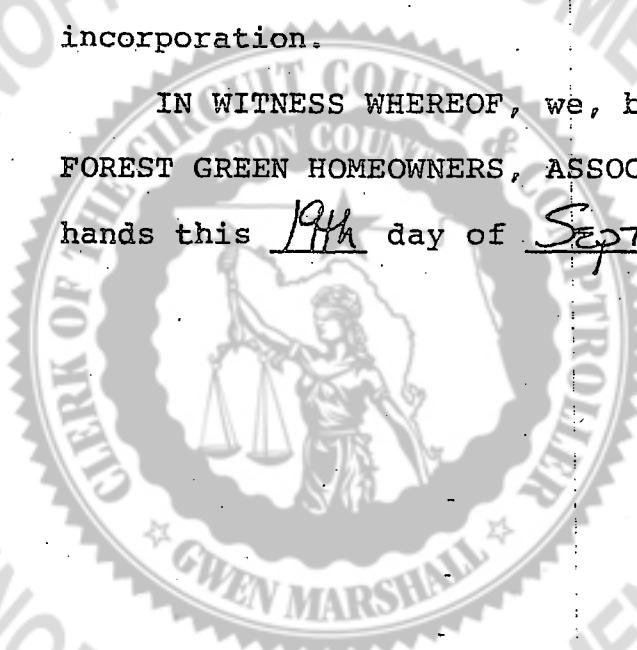
Section 2. In the case of any conflict between the Articles of Incorporation and these By-Laws, the Articles shall control; and in the case of any conflict between the Declaration and these By-Laws, the Declaration shall control.

### ARTICLE XIV

#### MISCELLANEOUS

The fiscal year of the Association shall begin on the first day of January and end on the 31st day of December of every year, except that the first fiscal year shall begin on the date of incorporation.

IN WITNESS WHEREOF, we, being all of the directors of the FOREST GREEN HOMEOWNERS, ASSOCIATION, INC., have hereunto set our hands this 19th day of September, 1983.

DENNETT I. RAINY

JANET M. MEADOWS

STATE OF FLORIDA,

COUNTY OF LEON.

I HEREBY CERTIFY that on this day, before me, a Notary Public duly authorized in the State and County named above to take acknowledgments, personally appeared LINDA HORNBY to me known to be the person described in and who executed the foregoing BY-LAWS OF FOREST GREEN HOMEOWNERS ASSOCIATION, INC., and acknowledged before me that she executed the same for the uses and purposes therein expressed.

WITNESS my hand and official seal in the State and County named above this 7th day of May, 1983.

Linda D. Day  
NOTARY PUBLIC

My Commission Expires:

Notary Public, State of Florida

My Commission Expires March 15, 1987

Bonded thru Troy Fair - Insurance, Inc.

CERTIFICATION

I, the undersigned, do hereby certify:

THAT I am the duly elected and acting Secretary of the FOREST GREEN HOMEOWNERS ASSOCIATION, INC., a Florida non-profit corporation, and, THAT the foregoing By-Laws constitute the original By-Laws of said Association, as duly adopted at a meeting of the Board of Directors thereof, held on the \_\_\_\_\_ day of \_\_\_\_\_, 1983.

IN WITNESS WHEREOF, I have hereunto subscribed my name and affixed the seal of said Association this \_\_\_\_\_ day of \_\_\_\_\_, 1983.

Janet M. Meadows  
JANET M. MEADOWS  
Secretary



AMENDMENTS TO THE BY-LAWS  
OF  
THE FOREST GREEN HOMEOWNER'S ASSOCIATION, INC.

June 11, 1991

The purpose of these changes is to re-affirm previous changes and correct the By-Laws to accurately reflect these changes.

ARTICLE IV

BOARD OF DIRECTORS: SELECTION: TERM OF OFFICE

Section 1. Number. The affairs of this Association shall be managed by a Board of ~~three~~ four (3) (4) directors, who ~~need~~<sup>must</sup> not be members of the Association.

Section 2. Term of Office. At/~~the~~/first/annual/meeting the members shall elect ~~one~~ two directors, who shall be the President and Vice President, for/a/term/of/one/year/, one director who shall be Treasurer for/a/term/of/two/years/ and one director who shall be Secretary for/a/term/of/three/years/; and at each annual meeting ~~thereafter~~ the members shall elect ~~one~~ the director(s) for a term of three years on a staggered basis, one or two each year as listed in this section.

ARTICLE VIII

OFFICERS AND THEIR DUTIES

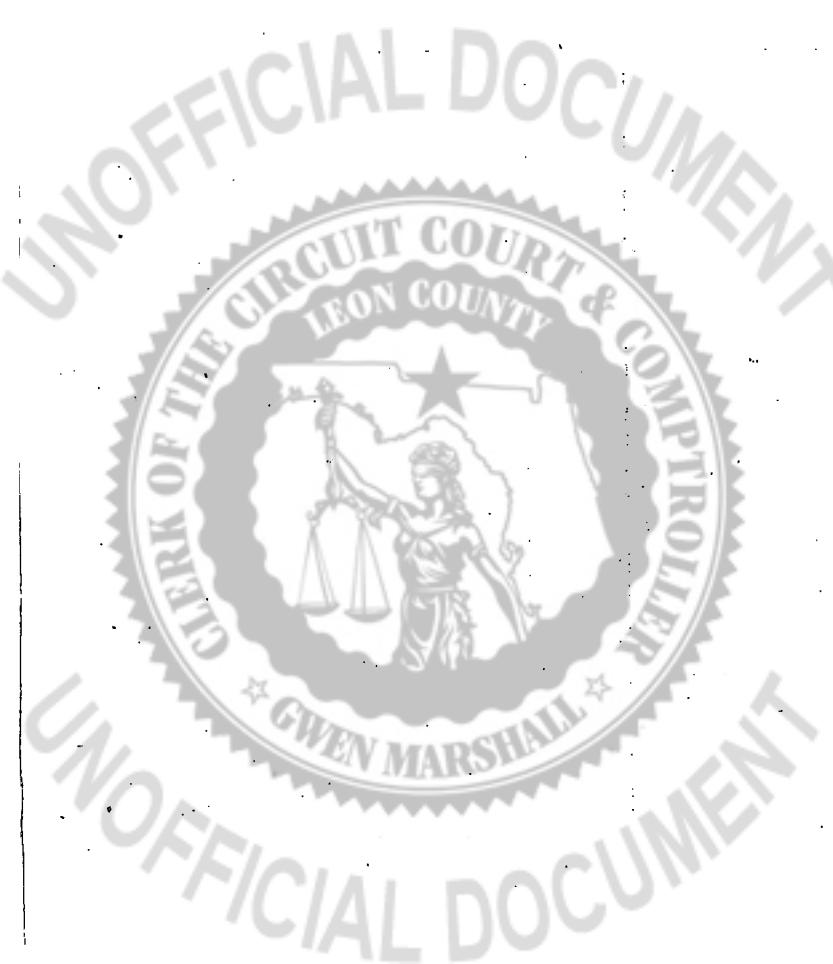
Section 1. Enumeration of Offices. The officers of this Association shall be a President, ~~and~~ a Vice President, ~~who shall at all times be members of the Board of Directors~~, a Secretary, and a Treasurer, who shall at all times be members of the Board of Directors, and such other officers as the Board may from time to time by resolution create.

//////\$effioph/2//Bleffiph/ff/Offioph//Tie/effioph/ff/Offioph

shall take place at the first meeting of the Board of Directors following each annual meeting of the members;

////Section 3. //The offices of this Association shall be elected annually by the Board and each shall hold office for the term of three years unless otherwise provided, and shall be elected by the members;

Section 7. Multiple Offices. The offices of Secretary and Treasurer may be held by the same person. No person shall simultaneously hold more than one of any of these offices except in the case of special offices created pursuant to Section 4 of this Article.



## EXHIBIT "A"

Begin at a concrete monument marking the Northwest corner of Section 33, Township 1 North, Range 1 East, Leon County, Florida (said concrete monument being located 21.26 feet South and 61.76 feet East of the Southeast corner of Lot 7, Block "B" of Glenwood Estates as recorded in Plat Book 2, Page 11 of the Public Records of Leon County, Florida) and run South 00 degrees 31 minutes 06 seconds West (bearing base) along the West boundary of said Section 33 a distance of 119.02 feet to a concrete monument, thence along the Easterly boundary of a 30 foot access and utility easement as described in Official Records Book 911, Page 754 of the Public Records of Leon County, Florida, as follows: South 29 degrees 17 minutes 40 seconds East 220.31 feet to a concrete monument marking a point of curve to the left, thence along said curve with a radius of 89.81 feet, through a central angle of 41 degrees 45 minutes 35 seconds, for an arc distance of 65.46 feet to a concrete monument, thence South 71 degrees 03 minutes 15 seconds East 67.64 feet to a concrete monument marking a point of curve to the right, thence along said curve with a radius of 75.91 feet, through a central angle of 78 degrees 46 minutes 21 seconds, for an arc distance of 104.36 feet to a concrete monument, thence South 07 degrees 43 minutes 06 seconds West 165.31 feet to a concrete monument marking a point of curve to the right, thence along said curve with a radius of 114.33 feet, through a central angle of 33 degrees 37 minutes 45 seconds, for an arc distance of 67.10 feet to a concrete monument, thence South 41 degrees 20 minutes 51 seconds West 82.12 feet to a concrete monument marking a point of curve to the left, thence along said curve with a radius of 117.02 feet, through a central angle of 46 degrees 22 minutes 11 seconds, for an arc distance of 94.71 feet to a concrete monument, thence South 05 degrees 01 minute 20 seconds East 1.52 feet to a concrete monument, thence leaving said 30 foot access and utility easement run South 89 degrees 31 minutes 13 seconds East along the South boundary of property described in Official Records Book 892, Pages 2095 and 2096 of the Public Records of Leon County, Florida, a distance of 527.53 feet to a concrete monument marking the Southeast corner of said property, thence South 00 degrees 06 minutes 06 seconds West 875.37 feet to a concrete monument lying on a curve concave to the Northwesterly on the Northerly right of way boundary of the Seaboard Coast Line Railroad (120 foot right of way), thence from a tangent bearing of South 67 degrees 36 minutes 36 seconds West run Westerly along said right of way curve with a radius of 1798.26 feet, through a central angle of 22 degrees 15 minutes 01 second, for an arc distance of 698.34 feet to a concrete monument on the West boundary of said Section 33, thence North 00 degrees 31 minutes 06 seconds East along said West boundary 1666.87 feet to a concrete monument, thence North 29 degrees 17 minutes 40 seconds West 100.56 feet to a concrete monument, thence North 00 degrees 31 minutes 06 seconds East 91.67 feet to a concrete monument on the South right of way boundary of Olivia Road, thence South 89 degrees 58 minutes 24 seconds East along said right of way 50.00 feet to the POINT OF BEGINNING; containing 18.08 acres, more or less.

and also:

Begin at a concrete monument marking the Northwest corner of Section 33, Township 1 North, Range 1 East, Leon County, Florida (said concrete monument being located 21.26 feet South and 61.76 feet East of the Southeast corner of Lot 7, Block "B" of Glenwood Estates as recorded in Plat Book 2, Page 11 of the Public Records of Leon County, Florida) and run North 00 degrees 31 minutes 06 seconds East 21.29 feet to a concrete monument, thence North 89 degrees 58 minutes 27 seconds East 666.78 feet to a concrete monument, thence South 00 degrees 06 minutes 06 seconds West 437.26 feet to a concrete monument marking the Northeast corner of property described in Official Records Book 911, Pages 753 and 754 of the Public Records of Leon County, Florida, thence North 89 degrees 29 minutes 35 seconds West along the North boundary of said property 403.02 feet to a concrete monument lying on a curve concave to the Southwesterly on the Easterly right of way boundary of a 30 foot access and